DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Avenue NE, P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Wright Runstad & Company
Cindy Edens, (206) 447-9000

LOCATION OF PROPOSAL: 1209 124th Avenue NE

DESCRIPTION OF PROPOSAL: State Environmental Policy Act (SEPA) review regarding The Spring District, Phase 3 roadway infrastructure improvements, which include roadway, sidewalk and utilities to serve future development of the adjacent parcels. Infrastructure within this phase will serve parcel development between the first phase of infrastructure installed at The Spring District, and the future Spring Boulevard construction. Parcel development between Spring Boulevard and the Sound Transit Light Rail (north) are dependent on the connection of utilities from Spring Boulevard to the proposed Spring District Phase 3 site infrastructure project. This proposed site infrastructure project will install NE 14th Terrace, the continuation of 121st Avenue NE to Spring Blvd., and the continuation of 122nd Avenue NE and 123rd Avenue NE to NE 14th Terrace. Streets include two drive lanes, parking, landscaping, street lighting, street furniture and sidewalks. Driveway cuts will be placed for future development. Sidewalks are planned to be phased for construction with adjacent development.

FILE NUMBERS: 17-108490-LM **PLANNER:** Laurie Tyler, Associate Land Use Planner

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

☐ There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.

☒ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **5/25/2017**

☐ This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project): or if the DNS was procured by misrepresentation or lack of material disclosure.

Carol M Helland — Environmental Coordinator

5/11/17 — Date

OTHERS TO RECEIVE THIS DOCUMENT:
☒ State Department of Fish and Wildlife / Stewart.Reinbold@dfw.gov; Christa.Heller@dfw.wa.gov;
☒ State Department of Ecology, Shoreline Planner N.W. Region / Jobu461@ecy.wa.gov; sepaunit@ecy.wa.gov
☒ Army Corps of Engineers Susan.M.Powell@nws02.usace.army.mil
☒ Attorney General ecyolyef@atg.wa.gov
☒ Muckleshoot Indian Tribe Karen.Walter@muckleshoot.nsn.us; Fisheries.fileroom@muckleshoot.nsn.us

City of Bellevue, Development Services Department
P.O. Box 90012, Bellevue, WA 98009-9012
(425) 452-6800 Fax (425) 452-5225

SEPA Environmental Checklist

Purpose of checklist:
Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:
This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:
Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals: [help]
For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the supplemental sheet for nonproject actions (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

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A. Background [help]

1. Name of proposed project, if applicable: [help]
   NE 14th Terrace and 121st Avenue NE extension at the Spring District

2. Name of applicant: [help]
   Wright Runstad & Company

3. Address and phone number of applicant and contact person: [help]
   Cindy Edens, Wright Runstad & Company, 1201 Third Avenue, Suite 2700, Seattle, WA 98101, (206) 447-9000

4. Date checklist prepared: [help]
   March 13, 2017

5. Agency requesting checklist: [help]
   City of Bellevue

6. Proposed timing or schedule (including phasing, if applicable): [help]
   Construction of the proposal is expected to begin in the fall of 2017 with completion in mid-2018. **Subject to change.**

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [help]
   The proposal includes the construction of roadways and associated infrastructure to support Phase 3 of the Spring District, per Master Development Plan (MDP) Revision approved January 13, 2017. Future development connected to this proposal includes the full build-out of the Spring District, in accordance with the MDP.

   Future development will be completed in phases, generally moving from the south to north side of the Spring District property. These anticipated phases are generally described next.

   - Phase 1A-1E – this project area includes the southern 14 acres of the Spring District. The site infrastructure, park and residential development in this first phase is generally complete. In addition, the GIX Building on Parcel 14 is under construction and an office building and brewpub on Parcel 12 is under Design Review. A park will be constructed as part of Phase 1A on Tract K and on Tracts G and J in Phase 1E. Parcel 13 is a future commercial building site.
   - Phase 2 includes City roadway improvements, the arrival of the Sound Transit Light Rail Transit (LRT) station;
   - Phase 3 includes commercial, retail and restaurant development on Parcels 3A, 7, 9, 11 and 15;
   - Phase 4 adds a landmark hotel that will provide an additional entry to the LRT station;
   - Phase 5 adds development north of NE 16th Street including residential and office/retail space; and
   - Phase 6 adds the final office building and residential complex on the north side of the property.

Refer to #11-125943-LP for latest Spring MDP Amendments

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Each phase of development will go through Design Review with the City of Bellevue and is subject to applicable regulations and policies in effect at the time of application.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [help]
An FEIS for the BelRed Corridor Project was issued by the City of Bellevue in July of 2007. The FEIS designates a Preferred Alternative, identified by the BelRed Steering Committee in May 2007, which would increase density in the western half of the BelRed Corridor by including three closely spaced development nodes in the vicinity of Overlake Hospital Medical Center (OHMC), 122nd, and 130th Avenues NE.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [help]
No known applications.

10. List any government approvals or permits that will be needed for your proposal, if known. [help]
In addition to the Design Review in accordance with the Master Development Plan, the proposal will require local permits, including Clearing & Grading and Utility Permits, as well as an NPDES Permit through the Washington State Department of Ecology. The existing warehouses on-site will be demolished under a separate Demo Permit through the City of Bellevue.
Demo of structures falls under East Link EIS

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [help]
The proposal includes the construction of NE 14th Terrace and the extension of 121st Avenue NE within the Spring District. Both streets will be public roadways, and are needed to complete a loop of roadway and infrastructure to serve the site. The roadways will include utilities (water, sanitary sewer and stormwater lines), as well as communication, power and gas utilities. The design of the roadways is complementary to the other roadways within the Spring District constructed to-date and include on-street parking, bioretention cells to treat roadway stormwater as well as street trees and lighting.
Also includes extension of 122nd and 123rd Ave NE to NE 14th Terrace.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [help]
The Spring District is located in Bellevue, King County, WA. The address of the Spring District site is 1209 124th Avenue NE, located to the North of NE 12th Street, East of 120th Avenue NE, and West of 124th Avenue NE. King County Parcel number 7933300000.

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B. Environmental Elements [help]

1. Earth [help]

a. General description of the site: [help] (select one): ☒Flat, ☐rolling, ☐hilly, ☐steep slopes, ☐mountainous, other: *Click here to enter text.*

b. What is the steepest slope on the site (approximate percent slope)? [help]
The proposal area is flat and consists of a warehouse to be removed under separate permit prior to construction.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [help]
The land has been developed since the late 1950's and does not include any prime farmland. A geotechnical engineering report (Hart Crowser, 2017) confirms the likelihood of up to five feet of fill under the existing concrete floor slab. The fill is believed to be very dense glacial soils typically consisting of gravelly to very gravelly, silty to very silty sand.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [help]
There are no indications of or history of unstable soils in the immediate vicinity.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [help]
The total project area of the improvements is 78,410 square feet. Proposed earthwork includes the excavation of approximately 3,100 cubic yards of material and 5,400 cubic yards of fill. Any excavated material that is not used on-site will be disposed of at a proper disposal site off-site.

Erosion control measures shall be enforced during construction, per BCC 23.76

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. [help]
As with all construction activities, there is the possibility of erosion associated with the clearing and construction of the proposal site if construction stormwater were not properly managed.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [help]
Currently, the proposal site is 100-percent impervious as it consists of paved parking lot and a warehouse slab that will be demolished under separate permit. After construction of the proposal, the project area will be approximately 83% impervious. This is an increase of 13,354 square feet of landscaped area after construction. Per the BelRed code and Master Development Plan Conditions of Approval, the Spring District site cannot exceed 75-percent impervious lot coverage site-wide at full buildout.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [help]
The project proponent will prepare and implement a construction stormwater

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pollution prevention plan (CSWPPP) per Washington State Department of Ecology requirements and a Temporary Erosion and Sediment Control (TESC) per Bellevue City Code 23.76.

The plans will identify Best Management Practices (BMPs) to minimize stormwater flows, prevent soil erosion, capture water-borne sediment from exposed soils, and protect water quality from on-site pollutant sources. These BMPs include an erosion control plan prepared in accordance with City of Bellevue standards and the Stormwater Management Manual for Western Washington. The City of Bellevue Storm and Surface Water Engineering Standards provides guidance to prevent erosion downstream of construction sites. In accordance with the City's NPDES permit, a Certified Erosion Control Lead (CERCL) will be on-site during construction.

Some measures that may be implemented during construction to manage source control and runoff conveyance and treatment include: road/parking area stabilization, wheel wash, dust control, concrete handling, construction timing, erosion control fencing, outlet protection, silt fencing, sediment traps, and construction stormwater chemical treatment. Additional devices and methods may be employed to ensure the erosion potential is minimized.

While on city streets, construction vehicles shall meet the requirements of the RCW 46.61.655 for covered loads.

2. Air [help]

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [help]

During construction, emissions to the air will be released by construction vehicles and heavy equipment. Construction would temporarily increase dust and vehicle emissions near the construction area.

After construction, the proposal will not create any vehicle trips or otherwise produce emissions. This proposal does not trigger the need for a quantitative analysis as there are no emissions associated with this proposal.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [help]

There are no known off-site sources of emissions or odor that would affect this proposal.

c. Proposed measures to reduce or control emissions or other impacts to air, if any: [help]

The City of Bellevue mandates standard practices as part of its Clearing and Grading permit (Bellevue City Code 23.76). Mitigation will include using BMPs to control dust and vehicle emissions near the construction area. Construction vehicles will be fitted with required, factory-installed emission control devices and requiring idling vehicles to be turned off. To reduce the potential of dust, construction accesses will be covered with rock or aggregate. Dust emissions will also be reduced during construction through the use of spray water as necessary during dry weather conditions. Material stockpiles will also be covered or watered as necessary to control dust.

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3. Water [help]

a. Surface Water:

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [help]

The proposal area is more than 400 feet northeast of Lake Bellevue. Lake Bellevue is the receiving water of stormwater runoff from the proposal site. The proposal site is not a major contributor of flow to the lake.

Kelsey Creek is located approximately 300 feet northeast of the proposal. The proposal will not affect Kelsey Creek.

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [help]

The proposal will not require work over, in or adjacent to any waters.

3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [help]

The proposal will not include fill or dredge materials placed or removed from surface waters or wetlands.

4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [help]

The proposal will not require surface water withdrawals or diversions.

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [help]

According to FEMA Flood Insurance Rate Maps, Community Panel numbers 53033C0368F and 53033C0656F (eff. May 16, 1995), the affected geographic area is not within the 100-year floodplain.

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [help]

No waste materials will be discharged to surface waters. After construction, stormwater from pollution-generating surfaces will be collected and treated before being conveyed through approved systems that eventually discharge to Lake Bellevue.

b. Ground Water:

1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [help]

This proposal does not involve withdrawals of or discharges to groundwater.

2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals…; agricultural; etc.). Describe the general size of the system, the

number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [help]

This Proposal does not include the discharge of waste materials into the ground from septic tanks or other sources.

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [help]

In compliance with the Washington Department of Ecology Stormwater Management Manual for Western Washington, the proposal will provide enhanced stormwater treatment of the roadways, which are pollution-generating surfaces. Surface runoff from NE 14th Terrace and 121st Avenue NE will be collected and treated in bioretention cells located along the roadways. After treatment, the stormwater will be discharged through an underdrain and leave the site through the stormwater conveyance system. The system connects to the existing storm drainage system at 120th Avenue NE where it is conveyed to Lake Bellevue.

Runoff from non-pollution generating surfaces, including sidewalks, will be conveyed directly to the storm drainage system and are not required to be treated.

2) Could waste materials enter ground or surface waters? If so, generally describe. [help]

It is not anticipated that waste materials will enter ground or surface waters. As with all projects, there is a possibly of waste materials entering ground or surface waters during construction without proper mitigation measures.

Project subject to Utility Code BCC 24.06 and any required utility permits.

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. [help]

Stormwater will continue to be discharged to Lake Bellevue. Stormwater from the roadway pollution-generating surfaces will be directed to bioretention cells for treatment before being discharged through the system to Lake Bellevue.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: [help]

The proposal will comply with all applicable requirements of the Drainage Design & Erosion Control Manual and applicable stormwater manual. During construction, contractors will be required to have a Spill Prevention Control and Countermeasure Plans and a Stormwater Pollution Prevention Plan (SWPPP) in place.

The proposal is implementing enhanced stormwater treatment through the use of bioretention cells for the roadway pollution-generating surfaces.

The proposal is within the Lake Bellevue Stormwater Sub-basin. The stormwater flow will maintain its historic pattern of entering the lake. The proposal's construction of low impact development techniques will reduce the peak stormwater flow rates to Lake Bellevue by slowing the rate it reaches the lake while not reducing overall flow volumes to the lake.

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4. Plants [help]

a. Check the types of vegetation found on the site: [help]
☐deciduous tree: alder, maple, aspen, other: Click here to enter text.
☐evergreen tree: fir, cedar, pine, other: Click here to enter text.
☐shrubs
☐grass
☐pasture
☐crop or grain
☐Orchards, vineyards or other permanent crops.
☐wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other: Click here to enter text.
☐water plants: water lily, eelgrass, milfoil, other: Click here to enter text.
☐other types of vegetation: Click here to enter text.

No vegetation exists on site. Site is currently improved with warehouse structure(s) and 100% impervious.

b. What kind and amount of vegetation will be removed or altered? [help]
The proposal does not require the removal of any vegetation.

c. List threatened and endangered species known to be on or near the site. [help]
There are no threatened or endangered species known to occur on or near the site.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [help]
The proposal landscaping will include planter strips as well as bioretention cells to provide stormwater treatment of pollution-generating surfaces.

Landscaping required per LUC 20.25D.110 for Green Streets and Local Streets.

Compliance with streetscape landscape requirements will be reviewed under Clear and Grade permit.

e. List all noxious weeds and invasive species known to be on or near the site. [help]
There are no known noxious weeds or invasive species on or near the site.

5. Animals [help]

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. [help]

Examples include:

birds: ☐hawk, ☐heron, ☐eagle, ☒songbirds, other: Click here to enter text.
mammals: ☐deer, ☐bear, ☐elk, ☐beaver, other: Click here to enter text.
fish: ☐bass, ☐salmon, ☐trout, ☐herring, ☐shellfish, other: Click here to enter text.

b. List any threatened and endangered species known to be on or near the site. [help]
There are no threatened or endangered species known to occur on or near the site.

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c. Is the site part of a migration route? If so, explain. [help]
Yes, however, most of Western Washington is generally located in the Pacific Flyway for migratory waterfowl.

d. Proposed measures to preserve or enhance wildlife, if any: [help]
As there is no known wildlife on the site, no preservation measures are needed.

e. List any invasive animal species known to be on or near the site. [help]
None known.

6. Energy and Natural Resources [help]

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [help]
The proposal will require electrical service for the street lights.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. [help]
The proposal will not affect the potential use of solar energy by adjacent properties. The proposal will not produce shadows to the north nor shade other adjacent properties.

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: [help]
The roadway will utilize LED street lighting fixutres to limit energy usage.

7. Environmental Health [help]

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. [help]
There are no anticipated environmental health hazards associated with this proposal. The project site is covered by a warehouse and paved parking area. As with all sites, there may be a risk of spills during construction.

1) Describe any known or possible contamination at the site from present or past uses. [help]
There is a possibility of encountering contaminated soil on-site during excavation. In 2001, six underground storage tanks were removed from the general vicinity of the proposal near the vehicle maintenance shop. The geotechnical consultant concluded that the removal and cleanup of contaminated soil was effective and that no further regulatory action was needed at that time.

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. [help]
There are no known hazardous chemicals or underground hazards on the proposal site. As described in the response above, there is a chance

of encountering contaminated soils during excavation from former underground storage tanks on-site.

3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. [help]
There are no toxic or hazardous chemicals involved in the construction or operation of the proposal.

4) Describe special emergency services that might be required. [help]
The need for special emergency services is not needed for this proposal.

5) Proposed measures to reduce or control environmental health hazards, if any: [help]
Spill Prevention and Control Plans will be utilized by contractors working on-site during construction.

b. Noise [help]

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [help]
Noise from nearby roadways exists, including freeways I-405 and SR-520 and arterials 124th Avenue NE and NE 12th Street. Noise from these facilities and other surrounding uses is standard roadway noise and will not affect the proposal.

Construction noise will be limited to the City's Noise Ord. BCC 9.18

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indi-cate what hours noise would come from the site. [help]
During construction, the site will produce temporary construction noise. There are no long-term noise impacts as a result of this proposal.

3) Proposed measures to reduce or control noise impacts, if any: [help]
During construction, motorized construction equipment will be properly fitted with mufflers to reduce engine noise associated with short-term construction noise.

8. Land and Shoreline Use [help]

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [help]
The development area contains a parking area and warehouse to be demolished under separate permit. The Master Development Plan and Binding Site Plan recorded for the property identify roadway infrastructure to support commercial and residential uses within the Spring District. The proposal does not affect any land uses near or adjacent to the proposal.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [help]
The site was likely used for agriculture prior to its development as a

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light industrial warehouse site in the early 1950's. The site has been used for warehouse distribution for the last 60+ years.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: [help]
The proposal will not affect or be affected by nearby farms or forest land operations.

c. Describe any structures on the site. [help]
There is a warehouse currently on the proposal site, which will be removed under separate permit and has already undergone environmental review.

Review occurred under East Link EIS

d. Will any structures be demolished? If so, what? [help]
No structures will be demolished as part of this proposal.

Demo permitted under:
17-108634-BE
17-108883-BE
17-108935-BE

e. What is the current zoning classification of the site? [help]
In 2009, the city rezoned several sites within BelRed, including the entire Spring District property. The proposal site was rezoned from Light Industrial to Office/Residential. **BR-OR-1**

f. What is the current comprehensive plan designation of the site? [help]
The current comprehensive plan designation is mixed-use office/residential. **BR-OR-1**

g. If applicable, what is the current shoreline master program designation of the site? [help]
Not applicable.

h. Has any part of the site been classified as a critical area by the city or county? If so, specify. [help]
There are no environmentally sensitive areas in the proposal area.

i. Approximately how many people would reside or work in the completed project? [help]
There is no residential or commercial use associated with this proposal. The proposal includes the construction of roadway infrastructure, including utilities, to support adjacent property uses.

j. Approximately how many people would the completed project displace? [help]
This proposal will not displace any residents as none are on-site.

k. Proposed measures to avoid or reduce displacement impacts, if any: [help]
Not applicable.

Project is designed to be in compliance with the approved Spring District MDP and amendments.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [help]
This proposal is compatible with the City's existing comprehensive plan and the FEIS for the BelRed Corridor Project. Alignment with these plans ensures compatibility with existing and projected land use plans.

m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: [help]
Not applicable.

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9. Housing [help]

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [help]

No residential housing will be constructed as part of this proposal.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [help]

The proposal will not eliminate any housing units.

c. Proposed measures to reduce or control housing impacts, if any: [help]

Not applicable.

10. Aesthetics [help]

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [help]

The proposal includes the construction of roadway and utilities infrastructure. No building structures are part of this proposal.

b. What views in the immediate vicinity would be altered or obstructed? [help]

The construction of the proposal will not impact, alter or obstruct any views in the immediate vicinity.

c. Proposed measures to reduce or control aesthetic impacts, if any: [help]

No aesthetic impacts are anticipated as the site is currently industrial. The use of street trees and plantings along the roadways will improve the aesthetics of the proposal site.

11. Light and Glare [help]

Project subject to light and glare requirements of LUC 20.50.522

a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [help]

The proposal includes the use of street lighting fixtures. However, as a former warehouse facility with truck traffic, the light and glare is not expected to increase over previous conditions on site.

b. Could light or glare from the finished project be a safety hazard or interfere with views? [help]

It is not anticipated that light or glare from this project will be a safety hazard or interfere with views.

c. What existing off-site sources of light or glare may affect your proposal? [help]

There are no known off-site sources of light or glare that would affect the proposal.

d. Proposed measures to reduce or control light and glare impacts, if any: [help]

Exterior lighting will meet City design standards and cast light downward.

12. Recreation [help]

a. What designated and informal recreational opportunities are in the immediate vicinity? [help]

Wilburton Hill Park and Botanical Gardens and Kelsey Creek Park are located approximately ¾ miles to 1 mile from the Spring District site.

5/11/17 LT

b. Would the proposed project displace any existing recreational uses? If so, describe. [help]

The development will not displace any existing recreational uses.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [help]

Not applicable.

13. Historic and cultural preservation [help]

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. [help]

The Washington State Department of Archaeology and Historic Preservation online GIS map tool does not indicate there are any places or objects listed on any registers within the immediate vicinity of the proposal.

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [help]

None known.

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [help]

Washington State Department of Archaeology and Historic Preservation online GIS map tool.

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. [help]

Not applicable.

14. Transportation [help]

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [help]

The proposal is generally served by NE District Way, 124th Avenue NE, and 120th Avenue NE. Freeway access includes SR-520 located north of the site and I-405 to the west. Primary access to the proposal will be from 124th Avenue NE via NE District Way within the Spring District. The city's future NE Spring Boulevard will provide access to 121st Avenue NE once constructed.

b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [help]

The proposal will not be served directly by public transit, however, King County Metro, serves the vicinity with bus service, including:

- Route MT 226-O: - approximately 0.1 miles from the proposal site
- Route MT 249-O: approximately 0.3 miles from the proposal site

- Route MT 672-O, MT 889-O: approximately 0.3 miles from the proposal site
- King County Rapid Ride B-Line: approximately 0.3 miles from the proposal site

c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [help]

The Proposal does not eliminate any parking stalls. The proposal includes on-street parking along the roadways for adjacent development, however, the proposal itself will not create parking needs.

d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [help]

The proposal creates approximately 950 linear feet of new roadway and utilities to serve adjacent property within the Spring District. The roadway infrastructure is in compliance with the Spring District Master Development Plan.

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [help]

The development does not use or occur in the immediate vicinity of current water, rail, or air transportation.

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [help]

The proposal will not generate any vehicle trips. The proposal includes the construction of roadways, planters, sidewalks and utilities to serve future and existing development within the Spring District.

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. [help]

The proposal will not affect or be affected by the movement of agricultural and forest products on the roads.

h. Proposed measures to reduce or control transportation impacts, if any: [help]

There are no transporation impacts associated with this proposal.

15. Public Services [help]

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [help]

The construction of these roadways will not increase the need for public services.

b. Proposed measures to reduce or control direct impacts on public services, if any. [help]

N/A

Slight changes to the location of utilities may need to be adjusted during the utility permit review phase of the project. No specific utility locations are approved under this SEPA review.

16. Utilities [help]

a. Circle utilities currently available at the site: [help]
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other
Utilities on-site within the Spring District will be extended during the construction of these roadways. These utilities include water, sanitary sewer, stormwater, and dry utilities such as communications to serve future adjacent development.

c. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. [help]
Other than electrical needs for the street lights, there are no other utility needs associated with this proposal. Water, sanitary sewer, gas and communications lines will be installed as part of this proposal to serve adjacent development. After treatment, stormwater from the bioretention cells used to treat roadway runoff will utilize new and existing stormwater lines at the site.

C. Signature [help]

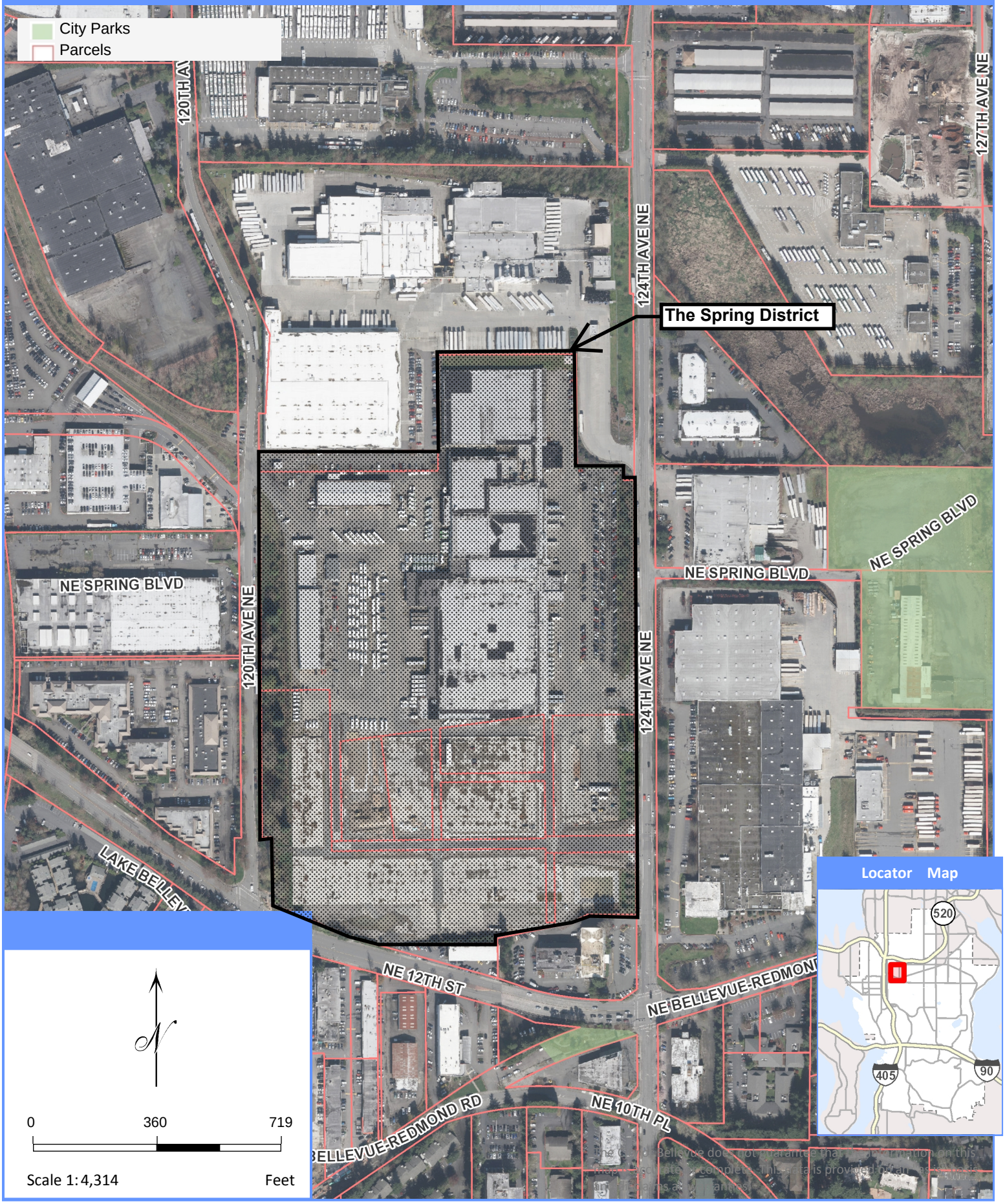
The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: Joleen Peterson

Name of signee: *Joleen Peterson*
Position and Agency/Organization: *JMJ TEAM*
Date Submitted: *March 15, 2017*

5/11/17 LT

The Spring District



Map Generated on: 03/23/2017

THE SPRING DISTRICT
NE 14TH TERRACE & 121ST AVE NE
PRELIMINARY SEPA

SE 1/4 OF NW 1/4; NE 1/4 & SE 1/4 OF SW 1/4 IN SECTION 28, TOWNSHIP 25 N, RANGE 5 E
Bellevue, Washington

PROPERTY OWNER

WR–SRI 120th LLC
c/o SHORENSTEIN REALTY SERVICES
235 MONTGOMERY STREET
16th FLOOR
SAN FRANCISCO, CA 94104
206.447.9000
CONTACT: CINDY EDENS

APPLICANT

WRIGHT RUNSTAD & COMPANY
1201 THIRD AVENUE
SUITE 2700
SEATTLE, WA 98101–3274
206.447.9000
CONTACT: CINDY EDENS

CIVIL ENGINEER

JMJ TEAM
PO BOX 2066
SUMNER, WA 98390
206.596.2020
CONTACT: JUSTIN JONES, PE

SURVEYOR

PARAMETRIX – PUYALLUP OFFICE
1019 39th AVENUE SE
SUITE 100
PUYALLUP, WA 98374
360.459.3609
CONTACT: KATHLEEN CASSOU, PLS

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424–5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

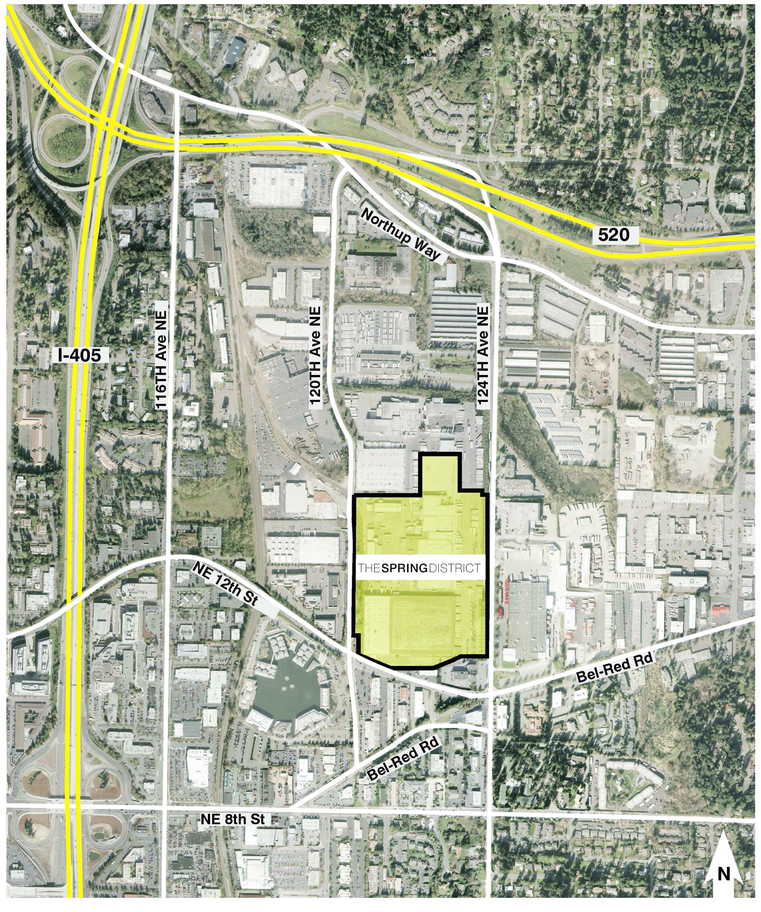
SITE INFORMATION:

SITE ADDRESS:	1227 124th AVE NE BELLEVUE, WA 98005
TAX PARCEL NUMBER(S):	0671000000
ZONING:	BR–OR
TOTAL PROJECT AREA:	1.8 ACRES

SERVICE PROVIDERS:

WATER:	CITY OF BELLEVUE
SEWER:	CITY OF BELLEVUE
POWER:	PUGET SOUND ENERGY
GAS:	PUGET SOUND ENERGY
COMMUNICATIONS:	CENTURYLINK
FIRE PROTECTION:	BELLEVUE FIRE DEPARTMENT

VICINITY MAP



INDEX TO DRAWINGS

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1–800–424–5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
WRIGHT RUNSTAD & COMPANY
Wright Runstad & Company
1201 Third Avenue
Suite 2700
Seattle, WA 98101
(206) 447-9000

Architect:
GGN
GGN
1932 1st Ave
Suite 700
Seattle, WA 98101
(206) 903-6802

Engineer:
JMJ TEAM
JMJ Team
PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
THE SPRING DISTRICT
NE 14th Terrace & 121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES — STATE OF WASHINGTON — 41829 — REGISTERED PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017
DWG.
Cover Sheet

DWG. C1-001

LEGEND - EXISTING

- BUILDING OUTLINE
- CULVERT
- CATCH BASIN
- STORM MANHOLE
- GAS VALVE
- FIRE HYDRANT
- LUMINARY
- MAILBOX
- J–BOX
- POWER POLE ANCHOR
- POWER POLE
- POWER RISER
- POWER VAULT
- PEDESTRIAN BRIDGE
- SANITARY CLEANOUT
- SANITARY SEWER MANHOLE
- SIGN
- SIGNAL LUMINARY
- SURVEY MONUMENT
- SURVEY MONUMENT
- SURVEY MONUMENT
- TELEPHONE MANHOLE
- TELEPHONE RISER
- TREE – CONIFEROUS
- TREE – DECIDUOUS
- WATER METER
- WATER VALVE
- ALIGNMENT CENTERLINE
- ALIGNMENT RIGHT OF WAY LINE
- ASPHALT LINE
- CHANNELIZATION DASHED EDGE LINE
- CHANNELIZATION SKIP LINE
- CHANNELIZATION TWO WAY LEFT TURN LINE
- DITCH CENTERLINE
- FENCE – BARB WIRE
- FENCE – CHAIN LINK
- FENCE – WOOD
- GUARD RAIL
- GRAVEL LINE
- HIGH WATER MARK
- MINOR CONTOURS
- MAJOR CONTOURS
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE
- TREE OUTLINE
- WATER BANK LINE
- W — WATER MAIN
- WETLAND BOUNDARY LINE
- WETLAND BOUNDARY SETBACK LINE
- WETLAND DITCH LINE
- WETLAND DITCH SETBACK
- TREE PROTECTION FENCE

NOTE:
SYMBOLS NOT TO SCALE

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE CITY OF BELLEVUE, KING COUNTY, AND THE PROJECT OWNER.
2. THE LOCATION OF EXISTING UTILITIES SHOWN HEREON IS BASED ON INFORMATION OBTAINED FROM THE FIELD AND FROM RECORDS. PROJECT SURVEYOR AND ENGINEER ASSUME NO RESPONSIBILITY FOR EXACT LOCATION OF EXISTING UTILITIES SHOWN OR NOT SHOWN HEREON. CONTRACTOR IS ADVISED TO VERIFY THE EXACT SIZE, DEPTH, AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL FOR UNDERGROUND LOCATE AT (800) 424–5555 PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE RELOCATION OF EXISTING UNDERGROUND UTILITIES DEPICTED OR NOT DEPICTED ON THESE PLANS.
3. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS TO REMAIN ACCESSIBLE AT ALL TIMES.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE–CONSTRUCTION" STATE OR BETTER.
5. THE CITY OF BELLEVUE REQUIRES A PRE–CONSTRUCTION MEETING PRIOR TO THE START OF ANY SITE OR UTILITY WORK.
6. DRIVEWAY ACCESS AND UTILITY SERVICE TO EXISTING HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.

CALL TWO BUSINESS DAYS
BEFORE YOU DIG
1–800–424–5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
WRIGHT RUNSTAD & COMPANY
Wright Runstad & Company
1201 Third Avenue
Suite 2700
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Architect:
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GGN
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Engineer:
JMJ Team
PO Box 2066
Sumner, WA 98390
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Project:
THE SPRING DISTRICT
NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

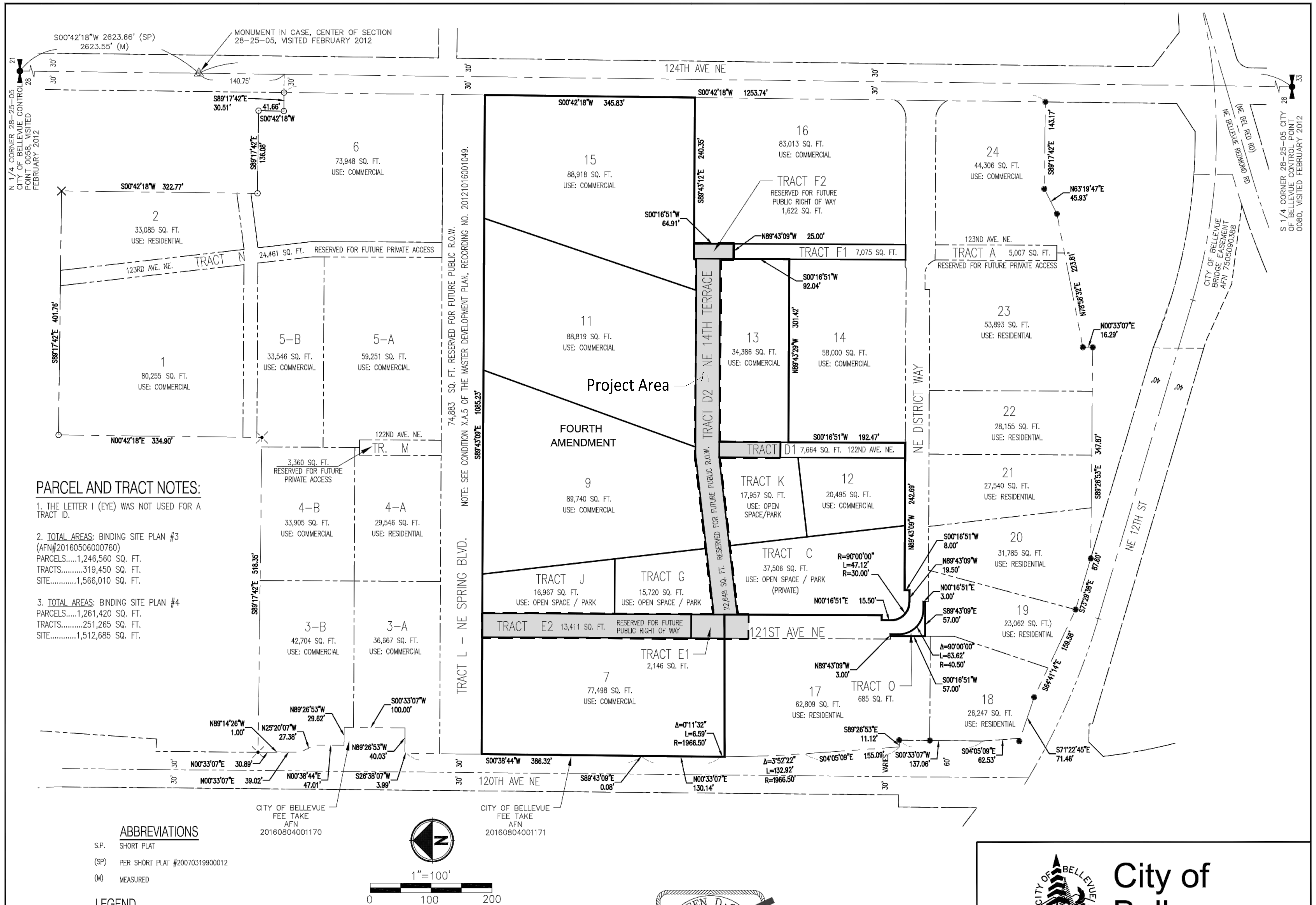
The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017
DWG.
General Notes
DWG. C1-002



PARCEL AND TRACT NOTES:

1. THE LETTER I (EYE) WAS NOT USED FOR A TRACT ID.

2. TOTAL AREAS: BINDING SITE PLAN #3
(AFN#20160506000760)
PARCELS.....1,246,560 SQ. FT.
TRACTS..........319,450 SQ. FT.
SITE............1,566,010 SQ. FT.

3. TOTAL AREAS: BINDING SITE PLAN #4
PARCELS.....1,261,420 SQ. FT.
TRACTS..........251,265 SQ. FT.
SITE............1,512,685 SQ. FT.

ABBREVIATIONS

S.P. SHORT PLAT
(SP) PER SHORT PLAT #20070319900012
(M) MEASURED

LEGEND

EXISTING NAIL AND FLASHER AS NOTED
EXISING CORNER, UNLESS NOTED OTHERWISE, FOUND REBAR AND CAP LS 33148 PER SHORT PLAT #20070319900012
EXISTING REBAR AND CAP, LS 27133 PER BSP 12-110450 LF
EXISTING SCRIBED 'X' IN CONCRETE
6' CHAIN LINK FENCE

KATHLEEN D. CASSOU, STATE OF WASHINGTON, 27133, REGISTERED PROFESSIONAL LAND SURVEYOR
DRAFT
DATE:

Parametrix
ENGINEERING . PLANNING . ENVIRONMENTAL SCIENCES
1019 39TH AVENUE SE, SUITE 100
PUYALLUP, WASHINGTON 98374
T. 253.604.6600 F. 253.604.6799
www.parametrix.com
247-4575-002 MARCH 2017

City of Bellevue
AMENDED BINDING SITE PLAN NO. ____________
FOURTH AMENDMENT
SHEET 3 OF 6
PARCEL LAYOUT

Draft Binding Site Plan Amendment #4

CALL TWO BUSINESS DAYS BEFORE YOU DIG
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UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
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Wright Runstad & Company
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Engineer:
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JMJ Team
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(206) 596-2020

Project:
THE SPRING DISTRICT
NE 14th Terrace & 121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

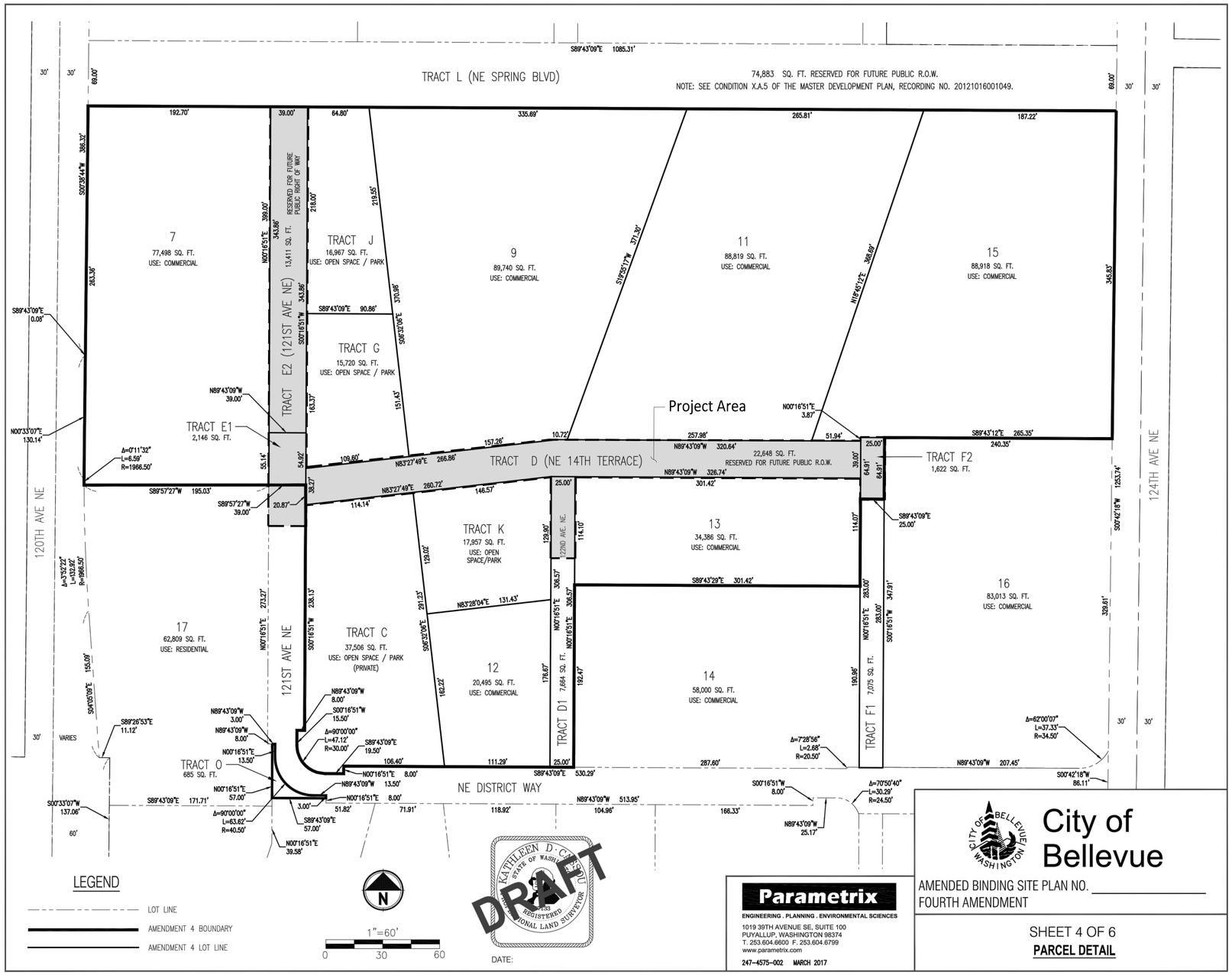
ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES, STATE OF WASHINGTON, 41829, REGISTERED PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

DRAWN BY: | DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017
DWG. Binding Site Plan
DWG. C1-101

File: 1500001C-016-BSP.dwg Path: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: pwalker Date: 14-Mar-17 11:23:08am



Draft Binding Site Plan Amendment #4

Owner/Developer:
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JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

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PROJ. NO: 1500-001-016
DATE: March 16, 2017

DWG.
Binding Site Plan

DWG.
C1-102

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247-4575-002 MARCH 2017

CITY OF BELLEVUE WASHINGTON
City of Bellevue
AMENDED BINDING SITE PLAN NO. _____
FOURTH AMENDMENT

SHEET 4 OF 6
PARCEL DETAIL

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

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NE Spring Blvd

Existing Concrete Slab
Recycle Building to be Demolished under Separate Permit and Completed by Time of Construction

12" Sewer Stub
IE=170.7'
(Per NE Spring Blvd Plans)

SS MH (Per NE Spring Blvd Plans)
Rim=176.7
IE=171.0' 12" PVS (N)
IE=171.0' 12" PVC IN (E)
IE=170.9' 12" PVC OUT (S)

12" Water Stub
IE=167.8'
(Per NE Spring Blvd Plans)

Tract J

Project Area Boundary

Existing Concrete Slab
Warehouse Building to be Demolished under Separate Permit and Completed by Time of Construction

Existing Concrete Slab Elevation = 181.1'

Tract G

Existing Storm Outfall

Existing Storm Sewer Stub
IE=163.1'

Existing Sanitary Sewer Stub
IE=168.6'

EX SD CB Type II
Rim=176.8'
IE=162.9' 12" CPE IN (N)
IE=169.3' 8" PVC IN (E)
IE=169.3' 8" PVC IN (W)
IE=162.8' 12" CPE OUT (S)

EX SS Lift MH
Rim=176.7'
IE=162.6' 12" PVC IN (NE)
IE=164.2' 12" PVC IN (SW)
IE=172.0' 2" DI OUT (SE)

EX SS MH
Rim=180.6'
IE=172.0' 2" DI IN (NW)
IE=166.4' 12" PVC OUT (S)

Existing Water Stub
IE=173.2'

Fire Hydrant

EX SD CB Type II
Rim=179.3'
IE=171.3' 8" PVC IN (E, W)
IE=166.3' 18" CPE IN (N)
IE=166.2' 18" CPE OUT (S)

Existing Water Stub
IE=173.3'

EX SS MH
Rim=177.3
IE=168.6' 12" PVC IN (N,E)
IE=168.5' 12" PVC OUT (S)

EX SD CB Type II
Rim=177.5'
IE=162.6' 12" CPE IN (N)
IE=162.6' 12" CPE IN (E)
IE=162.5' 12" CPE OUT (S)

Existing Sanitary Sewer Stub
IE=168.0'

Existing Storm Sewer Stub
IE=169.1'

EX SD CB Type II
Rim=180.3'
IE=162.9' 12" CPE IN (N)
IE=168.8' 12" CPE OUT (S)

EX SS MH
Rim=180.5'
IE=168.6' 8" PVC IN (N)
IE=171.8' 8" PVC IN (W)
IE=167.8' 8" PVC OUT (S)

Existing Water Stub
IE=173.6'

Gas Trench
Comm Trench

Tract K

Tract C

Concrete Parking Bay
Concrete Sidewalk

7 9 11 12 13 14 15 16 17

120th Ave NE
121st Ave NE
122nd Ave NE
123rd Ave NE
124th Ave NE
NE District Way

GENERAL NOTES

1. NE Spring Blvd, BrewPub, Building 16, and Parcel 17 residential are under design/permitting. For this submittal, they have been shown as existing.

LEGEND

- Existing Asphalt
- Existing Concrete
- Existing Landscaping
- Existing Gravel
- Existing Water Line
- Existing Sanitary Sewer Line
- Existing Storm Line
- Existing Gas Line
- Existing Power Trench
- Existing Communication Trench

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
WRIGHT RUNSTAD & COMPANY
Wright Runstad & Company
1201 Third Avenue
Suite 2700
Seattle, WA 98101
(206) 447-9000

SHOREBANK PACIFIC

Architect:
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GGN
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(206) 903-6802

Engineer:
JMJ TEAM
JMJ Team
PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
THE SPRING DISTRICT

NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

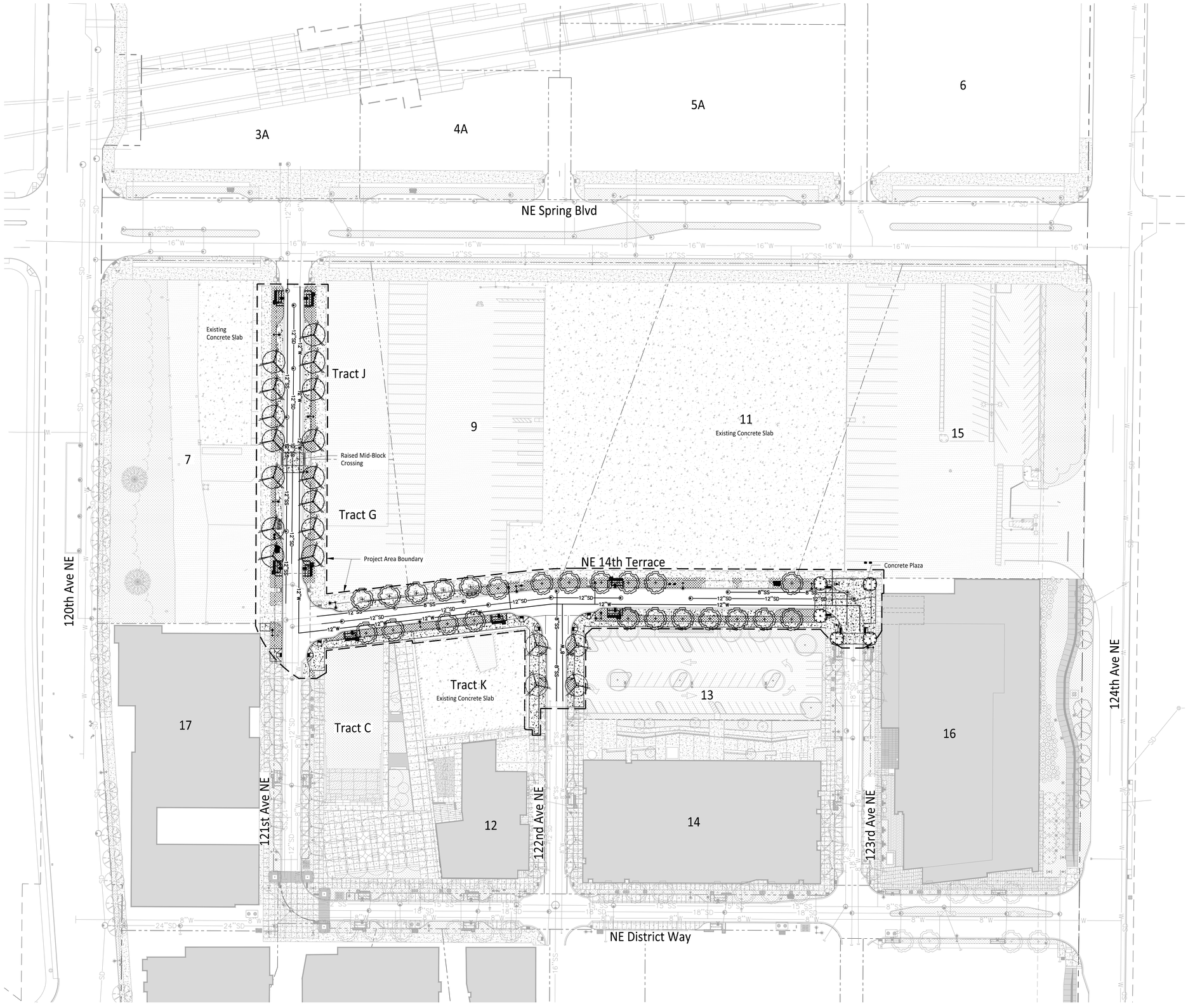
REV	DATE	DESCRIPTION

DRAWN BY:	DESIGN BY: J. Jones
PROJ. NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Boundary & Topographic Survey

DWG.
C1-201

File: 1500001C-016-EX.dwg Path: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: pwalker Date: 14-Mar-17 3:31:47pm



GENERAL NOTES

1. NE Spring Blvd, BrewPub, Building 16, and Parcel 17 residential are under design/permitting. For this submittal, they have been shown as existing.
2. Sidewalks and curb ramps along the north side of NE 14th Terrace to be permitted and installed with REI development on Parcels 9, 11, 15, and Tracts G & J parks.
3. Sidewalks and curb ramps along 121st Ave NE to be permitted and installed with REI Development on Parcel 7 and Tract G & J parks.

Owner/Developer:
WRIGHT RUNSTAD & COMPANY
Wright Runstad & Company
1201 Third Avenue
Suite 2700
Seattle, WA 98101
(206) 447-9000

Architect:
GGN
GGN
1932 1st Ave
Suite 700
Seattle, WA 98101
(206) 903-6802

Engineer:
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PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
THE SPRING DISTRICT

NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

0 50 100 FT

CALL TWO BUSINESS DAYS BEFORE YOU DIG
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UTILITIES UNDERGROUND LOCATION CENTER

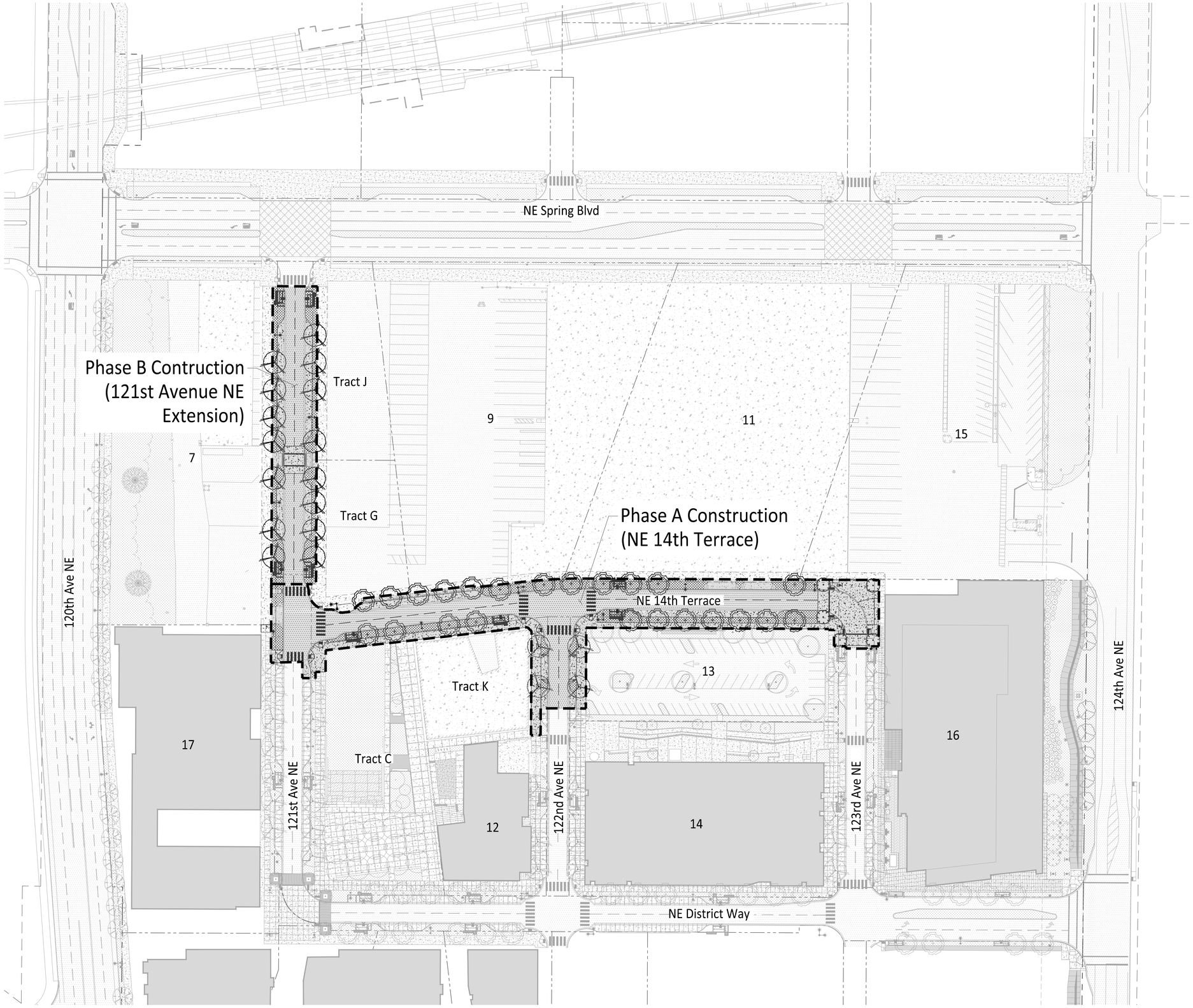
JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

DRAWN BY:	DESIGN BY: J. Jones
PROJ. NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Composite Site Plan

DWG.
C1-301



PHASING NOTES

1. The following projects to be permitted as follows:

1.1. REI development on Parcels 7, 9, 11, and 15 to be constructed under separate permit.
1.2. Tracts J and G parks to be constructed under separate permit.
1.3. Tract K park and underground parking garage to be constructed under separate permit.
1.4. Parcel 13 Surface Parking Lot is permitted under Utility Extension number 16-123956 UE and Clear & Grade number 13-119291 GD. Construction to be completed prior to the start of Phase 1 construction and it is shown as existing.
1.5. Building 16 is permitted under Utility Extension number 16-142682 UE and Clear & Grade number 16-136330 GD.
1.6. NE Spring Blvd is a City of Bellevue improvement project and is to be constructed under separate permit. Construction is anticipated to begin prior to the completion of Phase 2 construction and it is shown as existing.

2. Infrastructure Phase A Construction

2.1. NE 14th Terrace to be constructed in the following sequence in order to complete vehicle circulation to and from NE District Way. The completion of NE 14th Terrace allows development of parcels north of NE 14th Terrace while keeping public roads on the southern portion of The Spring District open.
2.1.1. To be completed at time of road opening: utilities, bioretention cells without inlets and planter boxes, curb and gutter, parking bays, sidewalks and curb ramps on the south side of the road, , street lights, roadway without final lift of asphalt, temporary channelization, signage.
2.1.2. To be completed prior to the occupancy of Building 16 and REI development on Parcels 9, 11, and 15: final lift of asphalt, final channelization, bioretention cell inlets and planter boxes, street trees, planter strip, concrete intersection.
2.2. Sidewalks and curb ramps along the north side of NE 14th Terrace to be permitted and installed with REI development on Parcels 9, 11, and 15 and Tract G and J parks.

3. Infrastructure Phase B Construction

3.1. 121st Avenue NE to be completed prior to the occupancy of REI development on Parcel 7 and completion of Tract G and J parks.
3.1.1. To be completed at time of road opening: utilities, bioretention cells with inlets and planter boxes, curb and gutter, parking bays, street lights, street trees, roadway, concrete mid-block crossing, final channelization, signage.
3.2. Sidewalks and curb ramps along 121st Avenue NE to be permitted and installed with REI development on Parcel 7 and Tract G and J parks.

0 50 100 FT

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Engineer:
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(206) 596-2020

Project:
THE SPRING DISTRICT
NE 14th Terrace & 121st Avenue NE
Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

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JUSTIN M. JONES STATE OF WASHINGTON 41829 REGISTERED PROFESSIONAL ENGINEER
03/16/2017

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DATE:	March 16, 2017

DWG. Phasing Plan

DWG. C1-302

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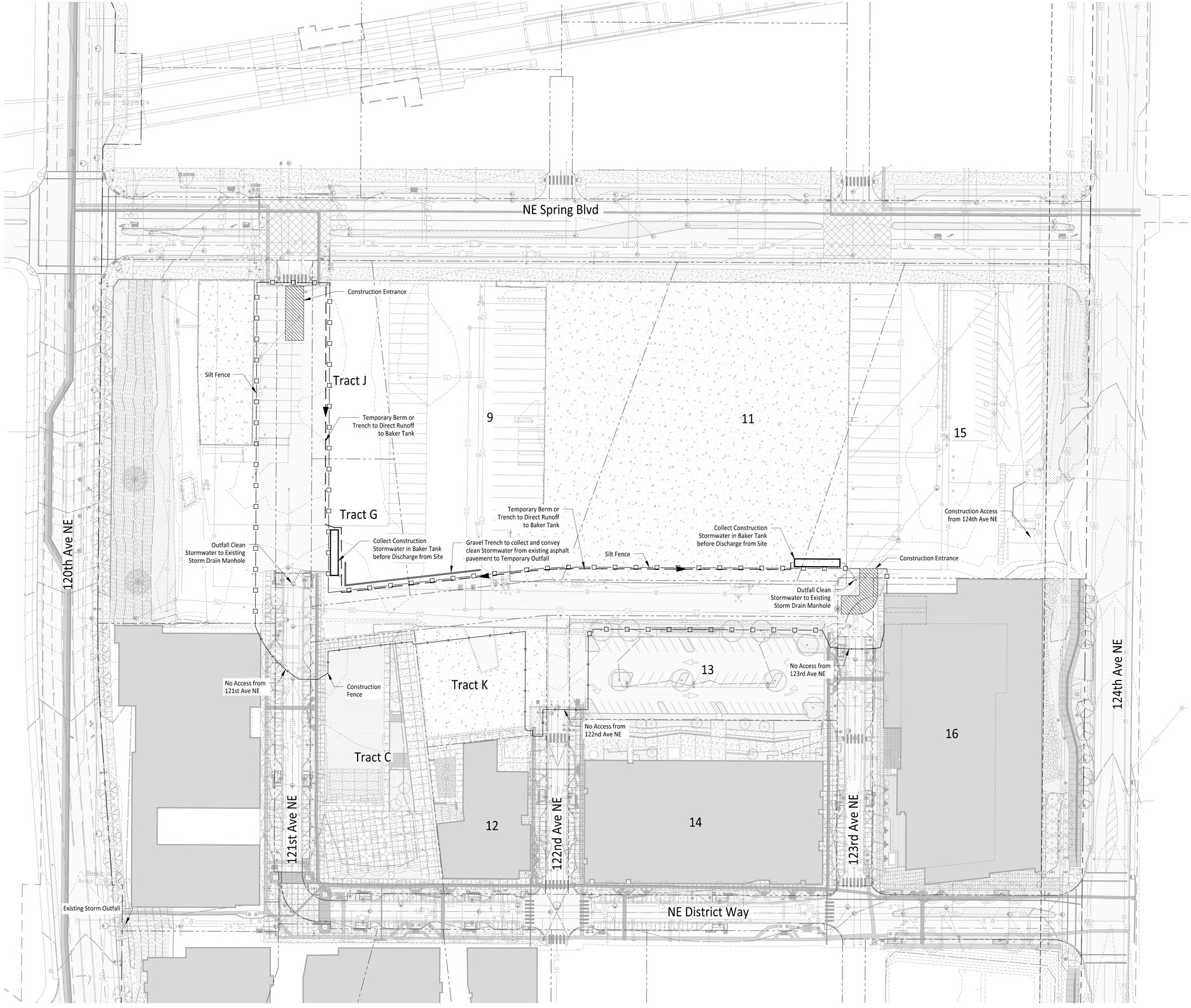

GENERAL NOTES

1. Install and maintain Construction Entrance per Washington Department of Ecology BMP C105 and Install Wheel Wash as necessary per BMP C106.
2. Install Silt Fence per City of Bellevue and Ecology Standard Plans.
3. Install Storm Drain Inlet Protection in all Proposed and Existing Catch Basins within the Project Vicinity including 121st, 122nd, and 123rd Ave NE per WSDOT STD Plan I-7.
4. Protect Bioretention Cell Inlets from Sediment and Construction Debris.
5. Install High Visibility Construction Fence where Silt Fence is not required as shown per WA DOE BMP C103.
6. Based on site conditions, additional BMP's may be required in order to meet discharge thresholds. Additional BMP's may include chemical treatment, sand filtration, or sewer discharge.

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STATE OF WASHINGTON
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DWG.
Temporary Erosion Control Plan

DWG.
C2-101

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CITY OF BELLEVUE
STANDARD NOTES FOR EROSION CONTROL PLANS

1. All clearing & grading construction must be in accordance with City of Bellevue (COB) *Clearing & Grading Code, Clearing & Grading Development Standards, Land Use Code, Uniform Building Code*, permit conditions, and all other applicable codes, ordinances, and standards. The design elements within these plans have been reviewed according to these requirements. Any variance from adopted erosion control standards is not allowed unless specifically approved by the City of Bellevue Development Services (DSD) prior to construction. It shall be the sole responsibility of the applicant and the professional civil engineer to correct any error, omission, or variation from the above requirements found in these plans. All corrections shall be at no additional cost or liability to the COB.

2. Approval of this erosion/sedimentation control (ESC) plan does not constitute an approval of permanent road or drainage design (e.g. size and location of roads, pipes, restrictors, channels, retention facilities, utilities, etc.).

3. A copy of the approved plans and drawings must be on-site during construction. The applicant is responsible for obtaining any other required or related permits prior to beginning construction.

4. The implementation of these ESC plans and the construction, maintenance, replacement, and upgrading of these ESC facilities is the responsibility of the applicant/contractor until all construction is completed and approved and vegetation/landscaping is established.

5. The ESC facilities shown on this plan must be constructed in conjunction with all clearing and grading activities, and in such a manner as to insure that sediment and sediment laden water do not enter the drainage system, roadways, or violate applicable water standards.

6. The ESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these ESC facilities shall be upgraded as needed for unexpected storm events and to ensure that sediment and sediment-laden water do not leave the site.

7. All locations of existing utilities have been established by field survey or obtained from available records and should, therefore, be considered only approximate and not necessarily complete. It is the sole responsibility of the contractor to independently verify the accuracy of all utility locations and to discover and avoid any other utilities not shown which may be affected by the implementation of this plan.

8. The boundaries of the clearing limits shown on this plan shall be clearly flagged in the field prior to construction. During the construction period, no disturbance beyond the flagged clearing limits shall be permitted. The flagging shall be maintained by the applicant/contractor for the duration of construction.

9. Clearing shall be limited to the areas within the approved disturbance limits. Exposed soils must be covered at the end of each working day when working from October 1st through April 30th. From May 1st through September 30th, exposed soils must be covered at the end of each construction week and also at the threat of rain.

10. At no time shall more than one foot of sediment be allowed to accumulate within a trapped catch basin. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment laden water into the downstream system.

11. Stabilized construction entrances shall be installed at the beginning of construction and maintained for the duration of the project.

12. The contractor must maintain a sweeper on site during earthwork and immediately remove soil that has been tracked onto paved areas as result of construction.

13. The ESC facilities shall be inspected daily by the applicant/contractor and maintained as necessary to ensure their continued functioning.

14. Any excavated material removed from the construction site and deposited on property within the City limits must be done in compliance with a valid clearing & grading permit. Locations for the mobilization area and stockpiled material must be approved by the Clearing and Grading Inspector at least 24 hours in advance of any stockpiling.

15. The ESC facilities on inactive sites shall be inspected and maintained a minimum of once a month or within the 48 hours following a major storm event.

16. Final site grading must direct drainage away from all building structures at a minimum 5% slope, per the *International Residential Code (IRC)* R401.3.

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JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

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DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017
DWG.

Temporary Erosion Control General Notes

DWG. C2-201

BMP C233: Silt Fence

Purpose

Use of a silt fence reduces the transport of coarse sediment from a construction site by providing a temporary physical barrier to sediment and reducing the runoff velocities of overland flow. See Figure 4.19 for details on silt fence construction.

Conditions of Use

Silt fence may be used downslope of all disturbed areas.

- Silt fence is not intended to treat concentrated flows, nor is it intended to treat substantial amounts of overland flow. Any concentrated flows must be conveyed through the drainage system to a sediment pond. The only circumstance in which overland flow can be treated solely by a silt fence, rather than by a sediment pond, is when the area draining to the fence is one acre or less and flow rates are less than 0.5 cfs.
- Silt fences should not be constructed in streams or used in V-shaped ditches. They are not an adequate method of silt control for anything deeper than sheet or overland flow.

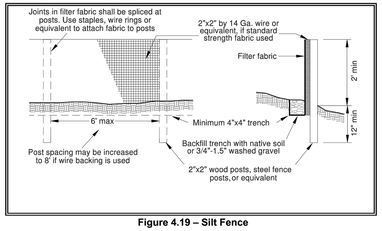

Figure 4.19 – Silt Fence

Design and Installation Specifications

- Drainage area of 1 acre or less or in combination with sediment basin in a larger site.
- Maximum slope steepness (normal (perpendicular) to fence line) 1:1.
- Maximum sheet or overland flow path length to the fence of 100 feet.
- No flows greater than 0.5 cfs.
- The geotextile used shall meet the following standards. All geotextile properties listed below are minimum average roll values (i.e., the test result for any sampled roll in a lot shall meet or exceed the values shown in Table 4.10):

BMP C103: High Visibility Fence

Purpose

Fencing is intended to:

1. Restrict clearing to approved limits.
2. Prevent disturbance of sensitive areas, their buffers, and other areas required to be left undisturbed.
3. Limit construction traffic to designated construction entrances, exits, or internal roads.
4. Protect areas where marking with survey tape may not provide adequate protection.

Conditions of Use

To establish clearing limits plastic, fabric, or metal fence may be used:

- At the boundary of sensitive areas, their buffers, and other areas required to be left uncleared.
- As necessary to control vehicle access to and on the site.

Design and Installation Specifications

High visibility plastic fence shall be composed of a high-density polyethylene material and shall be at least four feet in height. Posts for the fencing shall be steel or wood and placed every 6 feet on center (maximum) or as needed to ensure rigidity. The fencing shall be fastened to the post every six inches with a polyethylene tie. On long continuous lengths of fencing, a tension wire or rope shall be used as a top stringer to prevent sagging between posts. The fence color shall be high visibility orange. The fence tensile strength shall be 360 lbs./ft. using the ASTM D4595 testing method.

If appropriate install fabric silt fence in accordance with BMP C233 to act as high visibility fence. Silt fence shall be at least 3 feet high and must be highly visible to meet the requirements of this BMP.

Metal fences shall be designed and installed according to the manufacturer's specifications.

Metal fences shall be at least 3 feet high and must be highly visible.

Fences shall not be wired or stapled to trees.

Maintenance Standards

If the fence has been damaged or visibility reduced, it shall be repaired or replaced immediately and visibility restored.

BMP C105: Stabilized Construction Entrance

Purpose

Construction entrances are stabilized to reduce the amount of sediment transported onto paved roads by vehicles or equipment by constructing a stabilized pad of quarry spalls at entrances to construction sites.

Conditions of Use

Construction entrances shall be stabilized wherever traffic will be leaving a construction site and traveling on paved roads or other paved areas within 1,000 feet of the site.

On large commercial, highway, and road projects, the designer should include enough extra materials in the contract to allow for additional stabilized entrances not shown in the initial Construction SWPPP. It is difficult to determine exactly where access to these projects will take place; additional materials will enable the contractor to install them where needed.

Design and Installation Specifications

- See Figure 4.2 for details. Note: the 100' minimum length of the entrance shall be reduced to the maximum practicable size when the size or configuration of the site does not allow the full length (100').
- A separation geotextile shall be placed under the spalls to prevent fine sediment from pumping up into the rock pad. The geotextile shall meet the following standards:

Grab Tensile Strength (ASTM D4751)	200 psi min.
Grab Tensile Elongation (ASTM D4632)	30% max.
Mullen Burst Strength (ASTM D3786-80a)	400 psi min.
AOS (ASTM D4751)	20-45 (U.S. standard sieve size)

- Consider early installation of the first lift of asphalt in areas that will paved; this can be used as a stabilized entrance. Also consider the installation of excess concrete as a stabilized entrance. During large concrete pours, excess concrete is often available for this purpose.
- Hog fuel (wood-based mulch) may be substituted for or combined with quarry spalls in areas that will not be used for permanent roads. Hog fuel is generally less effective at stabilizing construction entrances and should be used only at sites where the amount of traffic is very limited. Hog fuel is not recommended for entrance stabilization in urban areas. The effectiveness of hog fuel is highly variable and it generally requires more maintenance than quarry spalls. The inspector may at any time require the use of quarry spalls if the hog fuel is not preventing sediment from being tracked onto pavement or if the hog fuel is being carried onto pavement. Hog fuel is prohibited in permanent roadbeds because organics in the subgrade soils cause degradation of the subgrade support over time.
- Fencing (see BMPs C103 and C104) shall be installed as necessary to restrict traffic to the construction entrance.

- Whenever possible, the entrance shall be constructed on a firm, compacted subgrade. This can substantially increase the effectiveness of the pad and reduce the need for maintenance.

Maintenance Standards

- Quarry spalls (or hog fuel) shall be added if the pad is no longer in accordance with the specifications.
- If the entrance is not preventing sediment from being tracked onto pavement, then alternative measures to keep the streets free of sediment shall be used. This may include street sweeping, an increase in the dimensions of the entrance, or the installation of a wheel wash.
- Any sediment that is tracked onto pavement shall be removed by shoveling or street sweeping. The sediment collected by sweeping shall be removed or stabilized on site. The pavement shall not be cleaned by washing down the street, except when sweeping is ineffective and there is a threat to public safety. If it is necessary to wash the streets, the construction of a small sump shall be considered. The sediment would then be washed into the sump where it can be controlled.
- Any quarry spalls that are loosened from the pad, which end up on the roadway shall be removed immediately.
- If vehicles are entering or exiting the site at points other than the construction entrance(s), fencing (see BMPs C103 and C104) shall be installed to control traffic.
- Upon project completion and site stabilization, all construction accesses intended as permanent access for maintenance shall be permanently stabilized.

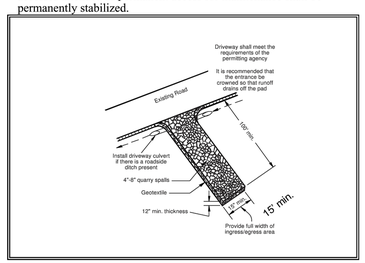

Figure 4.2 – Stabilized Construction Entrance

BMP C106: Wheel Wash

Purpose

Wheel washes reduce the amount of sediment transported onto paved roads by motor vehicles.

Conditions of Use

When a stabilized construction entrance (see BMP C105) is not preventing sediment from being tracked onto pavement.

- Wheel washing is generally an effective BMP when installed with careful attention to topography. For example, a wheel wash can be detrimental if installed at the top of a slope abutting a right-of-way where the water from the dripping truck can run unimpeded into the street.
- Pressure washing combined with an adequately sized and surfaced pad with direct drainage to a large 10-foot x 10-foot sump can be very effective.

Design and Installation Specifications

Suggested details are shown in Figure 4.3. The Local Permitting Authority may allow other designs. A minimum of 6 inches of asphalt treated base (ATB) over crushed base material or 8 inches over a good subgrade is recommended to pave the wheel wash.

Use a low clearance truck to test the wheel wash before paving. Either a belly dump or lowboy will work well to test clearance.

Keep the water level from 12 to 14 inches deep to avoid damage to truck hubs and filling the truck tongues with water.

Midpoint spray nozzles are only needed in extremely muddy conditions.

Wheel wash systems should be designed with a small grade change, 6 to 12 inches for a 10-foot-wide pond, to allow sediment to flow to the low side of pond to help prevent re-suspension of sediment. A drainpipe with a 2- to 3-foot riser should be installed on the low side of the pond to allow for easy cleaning and refilling. Polymers may be used to promote coagulation and flocculation in a closed-loop system. Polyacrylamide (PAM) added to the wheel wash water at a rate of 0.25 - 0.5 pounds per 1,000 gallons of water increases effectiveness and reduces cleanup time. If PAM is already being used for dust or erosion control and is being applied by a water truck, the same truck can be used to change the wash water.

Maintenance Standards

The wheel wash should start out the day with fresh water.

The wash water should be changed a minimum of once per day. On large earthwork jobs where more than 10-20 trucks per hour are expected, the wash water will need to be changed more often.

Wheel wash or tire bath wastewater shall be discharged to a separate on-site treatment system, such as closed-loop recirculation or land application, or to the sanitary sewer with proper local sewer district approval.

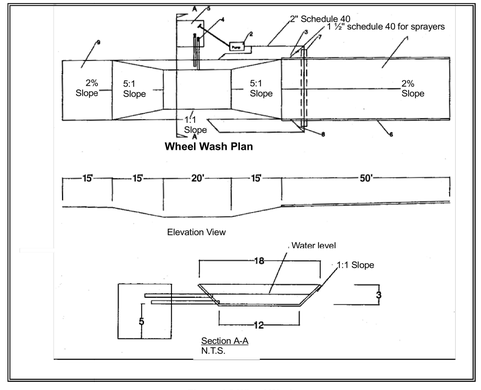

Figure 4.3 Wheel Wash

Notes:
1. Asphalt construction entrance 6 in. asphalt treated base (ATB).
2. 3-inch trash pump with floats on the suction hose.
3. Midpoint spray nozzles, if needed.
4. 6-inch sewer pipe with butterfly valves. Bottom one is a drain. Locate top pipe's invert 1 foot above bottom of wheel wash.
5. 8 foot x 8 foot sump with 5 feet of catch. Build so can be cleaned with trackhoe.
6. Asphalt curb on the low road side to direct water back to pond.
7. 6-inch sleeve under road.
8. Ball valves.
9. 15 foot. ATB apron to protect ground from splashing water.

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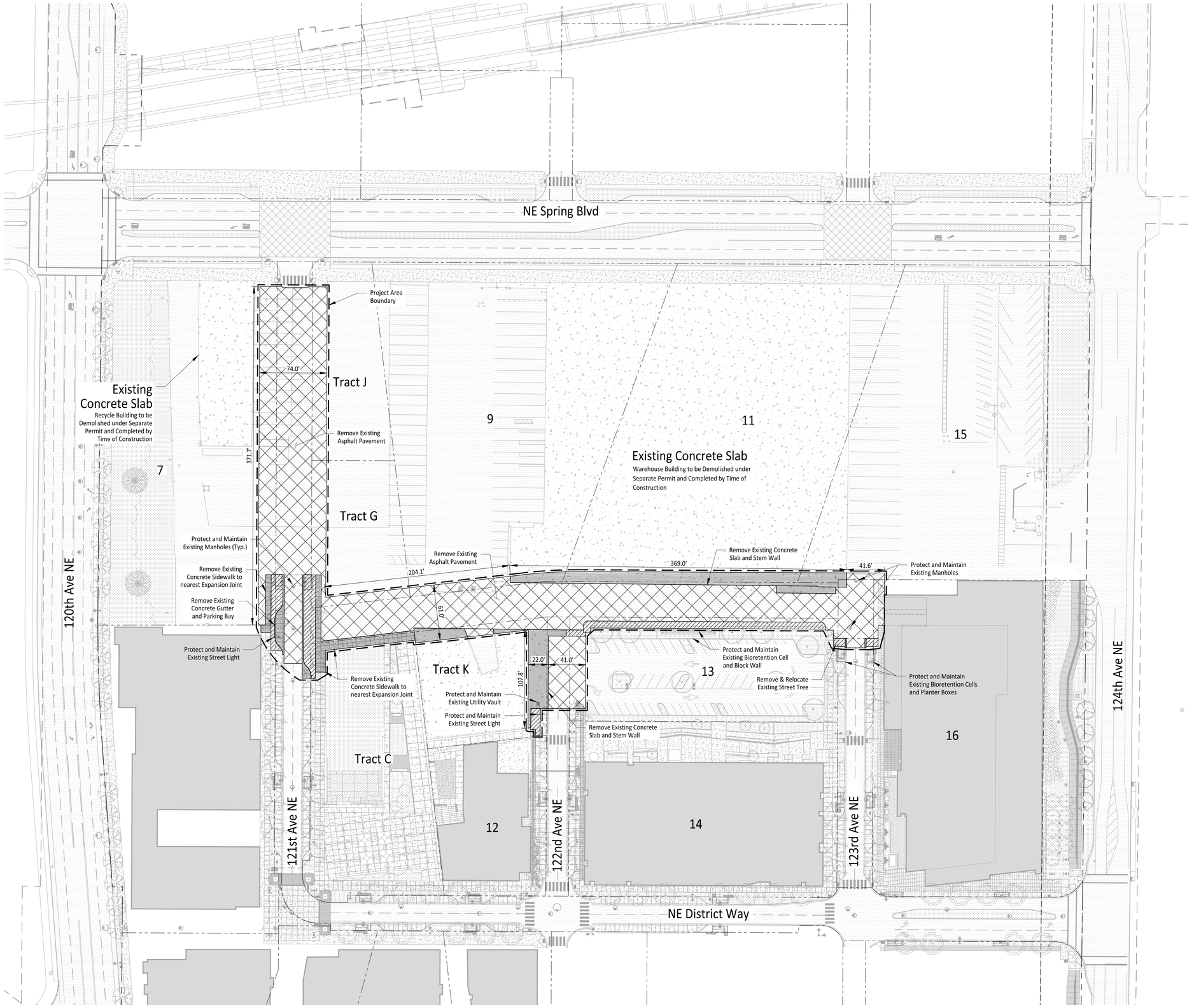
Temporary Erosion Control Details
DWG.
C2-202



GENERAL NOTES

1. Total Asphalt Pavement Area to be Removed with NE 14th Terrace and 121st Avenue NE Demolition = 58,400 SF
2. Total Concrete Pavement Area to be Removed with NE 14th Terrace and 121st Avenue NE Demolition = 11,500 SF
3. Total Softscape Area to be Removed with NE 14th Terrace and 121st Avenue NE Demolition = 4,800 SF

LEGEND

- Property Line
- Remove Existing Asphalt
- Remove Existing Concrete
- Remove Existing Softscape

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DWG.
Hardscape Demolition Plan

DWG. C2-301

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NE Spring Blvd

Tract J

Tract G

Tract K

Tract C

9

11

15

7

13

16

12

14

120th Ave NE

121st Ave NE

122nd Ave NE

123rd Ave NE

124th Ave NE

NE District Way

Project Area Boundary

Floor Drains and Area Inlets to be Routed to Storm System with Building Demolition (Typ.)

Existing Storm and Sewer Lines to be Rerouted to Maintain Outfall to 120th See C3-300 Series for Utility Plans

Remove and Relocate Existing Bioretention Cells

Existing Storm Outfall

Protect and Maintain Existing Manholes

Protect and Maintain Storm and Sewer Stubs

Remove Existing Water Stubs

Joint Utility Trench Reconfiguration to be Coordinated with Providers

Protect and Maintain Existing Utility Vault

Protect and Maintain Existing Utility Stubs

Protect and Maintain Existing Bioretention Cell

Protect and Maintain Existing Storm Line

Sewer Lift Station and Force Main to be Removed

Protect and Maintain Existing Manholes

Remove & Relocate Existing Fire Hydrant

Protect and Maintain Existing Bioretention Cells

GENERAL NOTES

1. Existing Bellevue Distribution Center storm and sanitary sewer lines north of project site to be rerouted to maintain drainage after NE 14th Terrace utility demolition.
2. Remove structures and appurtenances associated with utility lines to be removed or abandoned.

LEGEND

- Property Line
- Remove/Abandon Storm Line
- Remove/Abandon Sanitary Sewer Line
- Remove/Abandon Water Line
- Project Area Boundary

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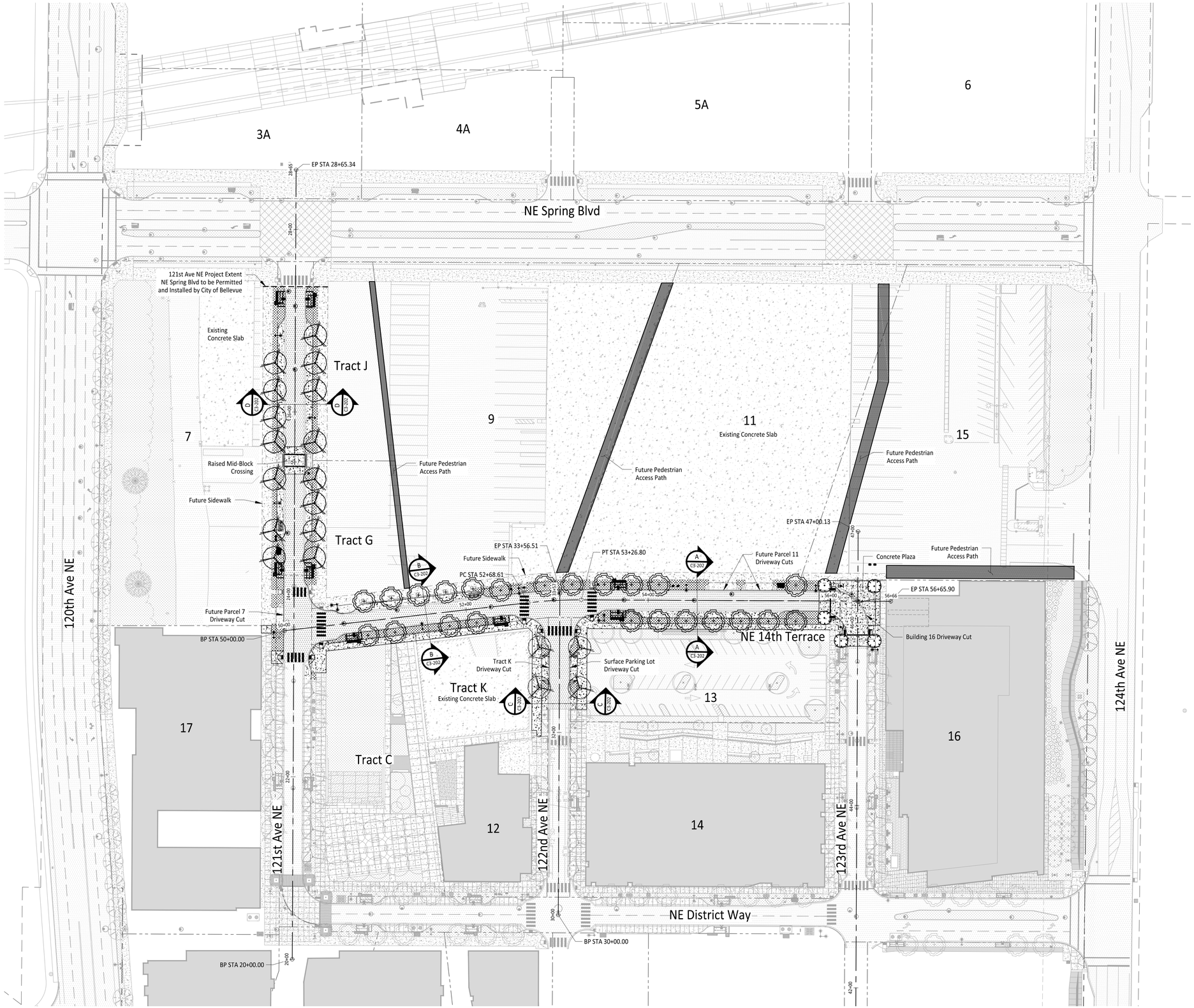
Utility Demolition Plan

DWG. C2-302



GENERAL NOTES

1. NE Spring Blvd, BrewPub, Building 16, and Parcel 17 residential are under design/permitting. For this submittal, they have been shown as existing.
2. Sidewalks and curb ramps along the north side of NE 14th Terrace to be permitted and installed with REI development on Parcels 9, 11, 15, and Tracts G & J parks.
3. Sidewalks and curb ramps along 121st Ave NE to be permitted and installed with REI Development on Parcel 7 and Tract G & J parks.

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DWG.
Composite
Road Plan

DWG.
C3-101

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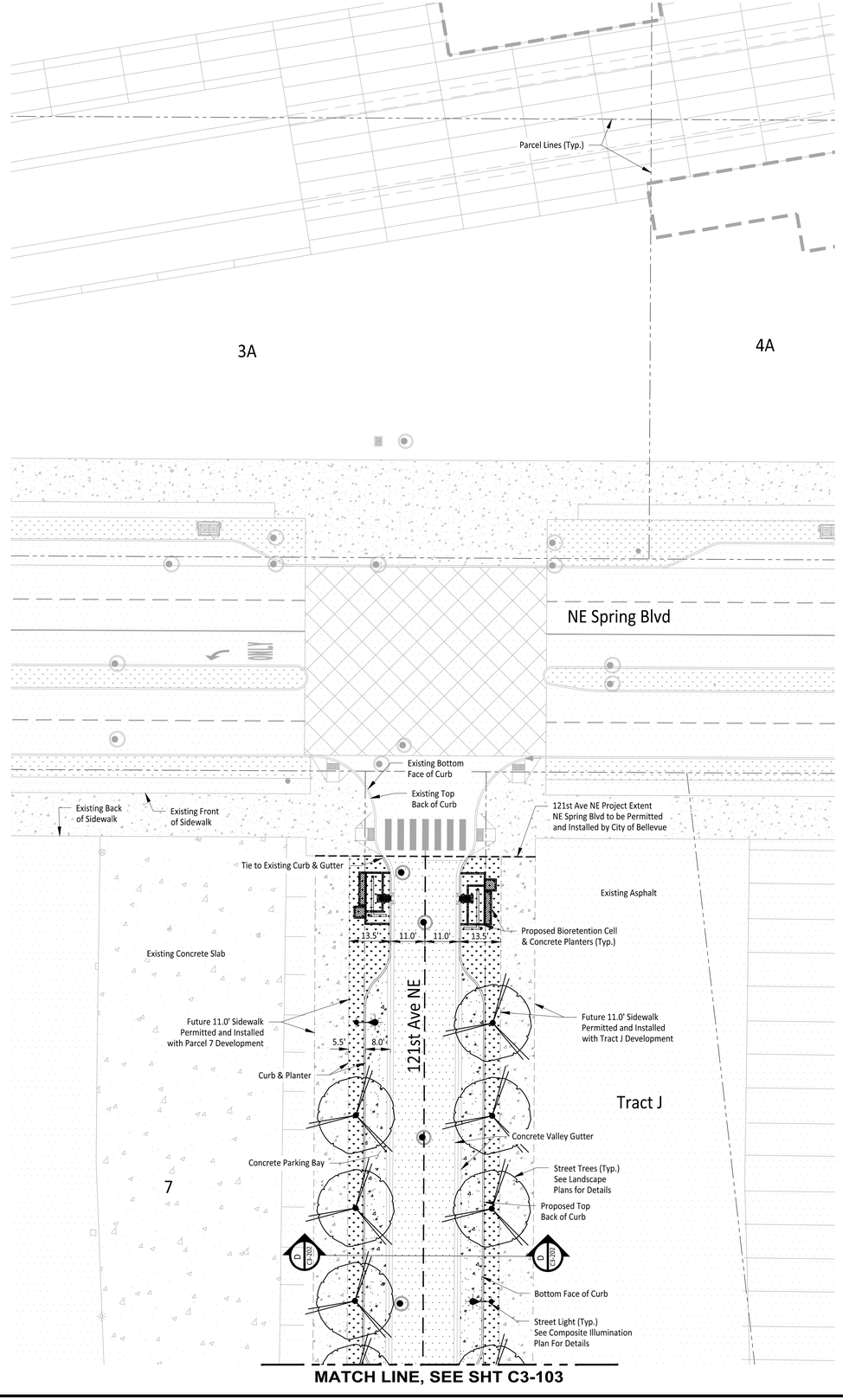

Owner/Developer:
WRIGHT RUNSTAD & COMPANY
Wright Runstad & Company
1201 Third Avenue
Suite 2700
Seattle, WA 98101
(206) 447-9000

Architect:
GGN
GGN
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Suite 700
Seattle, WA 98101
(206) 903-6802

Engineer:
JMJ Team
PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
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NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

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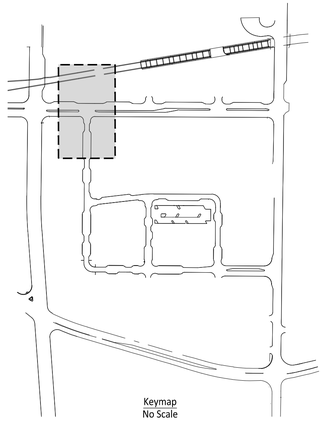

0 20 40 FT

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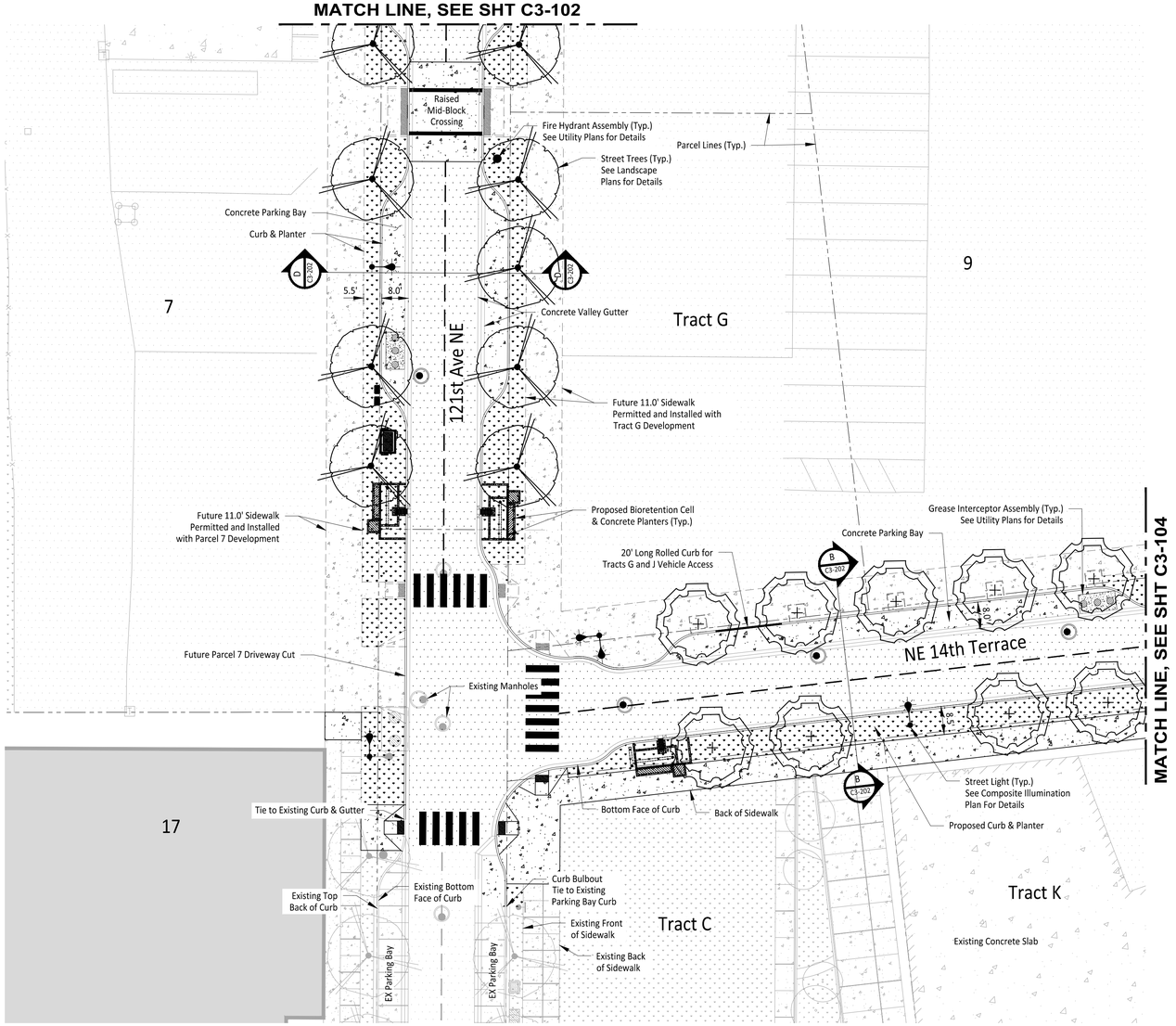
PROFESSIONAL ENGINEER
03/16/2017

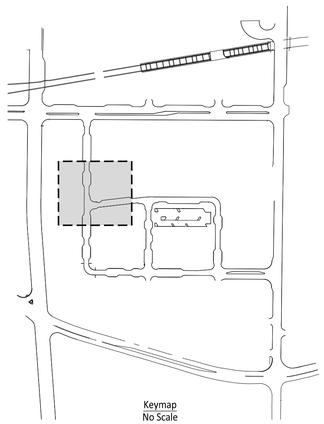
REV	DATE	DESCRIPTION

DRAWN BY:	DESIGN BY: J. Jones
PROJ. NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Road Plan

DWG.
C3-102





0 20 40 FT

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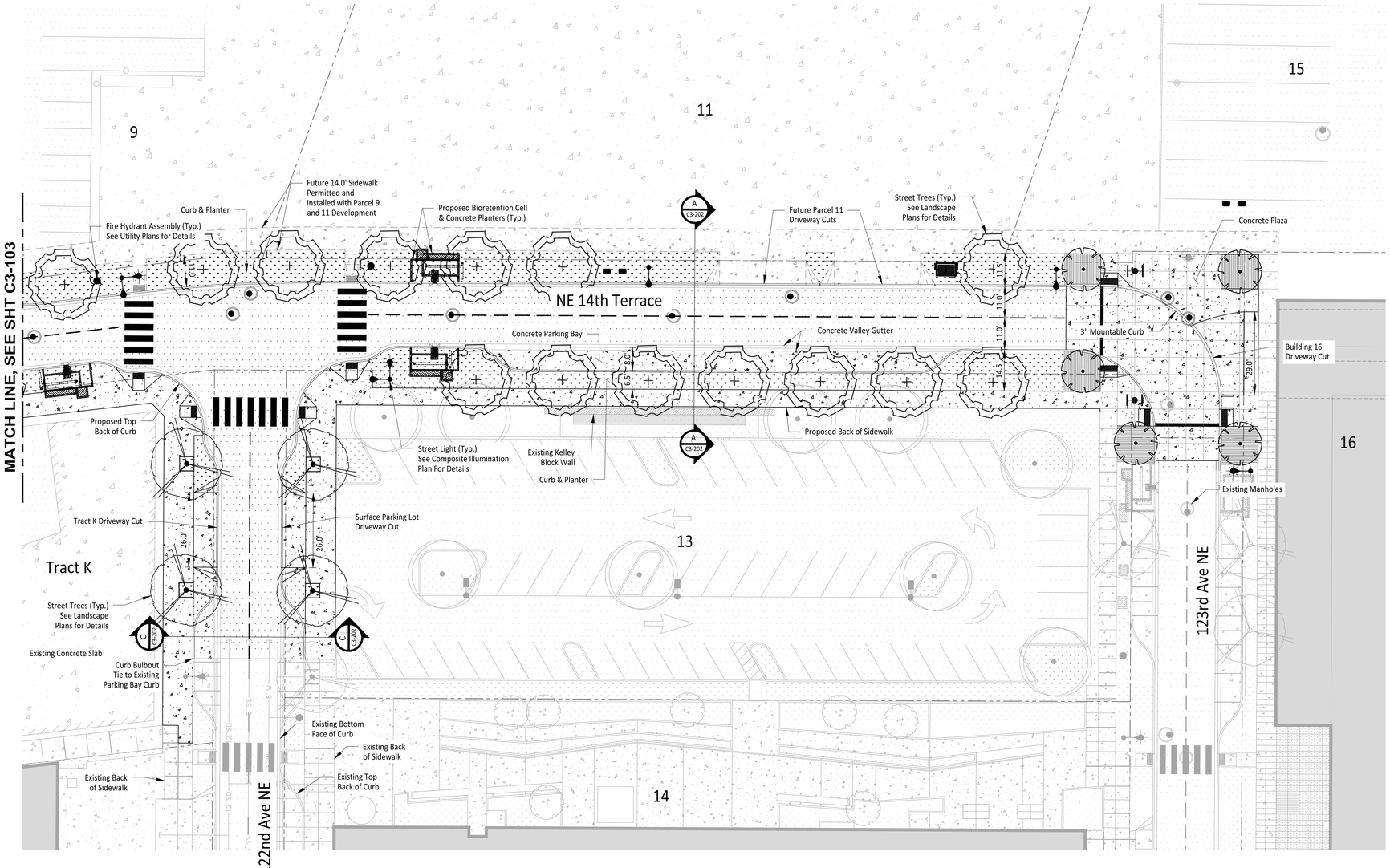
JUSTIN M. JONES
STATE OF WASHINGTON
41823
REGISTERED PROFESSIONAL ENGINEER
03/16/2017

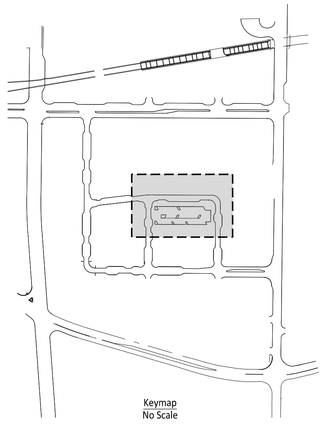
REV	DATE	DESCRIPTION

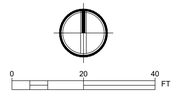
DRAWN BY:
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017

DWG. Road Plan

DWG. C3-103







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03/16/2017

REV	DATE	DESCRIPTION

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DWG.
Road Plan

DWG.
C3-104

File: 1500001C-016-RD.dwg Path: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: jharkins Date: 14-Mar-17 2:27:59pm

CITY OF BELLEVUE
TRANSPORTATION DEPARTMENT
CONSTRUCTION NOTES

1. All construction shall be in accordance with the City of Bellevue Transportation Department Design Manual, applicable city codes, and the most recent WSDOT Standard Specifications for Road, Bridge and Municipal Construction.

2. The design elements within these plans have been reviewed according to the latest edition of the City of Bellevue Transportation Department Design Manual. This approval is subject to field inspection; oversight or violation of City ordinances is not included in this approval. Variances to these standards are by approval of the Transportation Department Review Engineer and the Transportation Department Construction Inspector.

3. Approval of this road, grading, and/or drainage plan does not constitute an approval of any other construction (e.g., domestic water conveyance, sewer conveyance, gas, electrical, etc.).

4. It is the Contractor's responsibility to call for a pre-construction conference at 425-452-6875 prior to any clearing, grading, or construction activity. This conference must be attended by the Contractor and the Transportation Department Construction Inspector. A right of way permit must be obtained prior to scheduling the pre-construction conference.

5. A copy of these approved plans must be at the job site whenever construction is in progress. The Transportation Department Construction Inspector may issue a stop work order if approved plans are not available at the site when needed.

6. It is the Contractor's responsibility to obtain all necessary construction easements and Right of Way Use Permits before beginning off-site work. Work within the right of way fronting the site, whether improved or unimproved, requires a separate Right of Way Use Permit. Right of Way Use Permits are required for all curb cuts and roadway cuts.

7. In connection with the performance of work covered by this approval, the Contractor shall be responsible for providing adequate safeguards, safety devices, protective equipment, flaggers, and any other services or devices necessary to protect property and the life, health, and safety of the public. Traffic control plans must be submitted under the Right of Way Use Permit prior to work commencing in the right of way.

8. It is the Contractor's responsibility to notify the City of Bellevue's Traffic Signal Section Inspector/ Locator at 425-864-8080 before relocating any traffic signal or street lighting poles, conduits or equipments. In addition, the Inspector must be notified if any street cut that affects an existing signal loop detector in the right of way.

9. It is the Contractor's responsibility to notify telephone, gas, power, and cable TV companies of proposed work prior to construction.

10. Prior to the placement of asphalt paving, the Contractor must submit compaction test results (conducted by a licensed soils engineer) to the Transportation Department Construction Inspector. Proof rolling of the roadway will be conducted in the presence of the Transportation Construction Inspector prior to crushed rock placement.

11. The final top lift for the roadway may be placed only after April 1st and prior to October 1st, subject to Transportation Department Construction Inspector approval. All other limitations per WSDOT Standard Specifications 5-04.3 shall apply.

12. All City-owned utilities valve boxes, manhole covers, catch basins, and monument cases which are in the asphalt portion of the roadway shall be adjusted to the final roadway grade for that portion of the project within one week of the placement of final lift. These items will be adjusted to the final grade only after the final lift of asphalt is placed.

13. All work shall be performed per the recommendations of soils reports prepared for this project, including the soils report for soils conditions relative to roadway paving, unless otherwise directed in writing by the Transportation Department Review Engineer or The Transportation Construction Inspector.

14. Street signs are to be provided and installed by the Contractor as directed per a signing plan approved by the Transportation Department. Contact the Traffic Engineering Technician at (425) 452-4499 at least 72 hours prior to installation for field layout direction. All signs must be in good condition prior to final acceptance of the roadway.

15. Relocation of street signs must be coordinated with the Transportation Department Construction Inspector.

16. Safety rail, guard rail, and driveway aprons must be placed and constructed per the City of Bellevue Transportation Department Design Manual. For residential subdivisions, driveway aprons may be installed only after issuance of building permits. Therefore, if curb and gutter is placed before building permits are issued, curb and gutter shall be continuous. A Right of Way Use Permit will be required to install driveway aprons abutting City right of way.

17. The Contractor is responsible for restriping the road surface per approved plans after an asphalt overlay. This work must be coordinated with the Transportation Department Construction Inspector and the Traffic Engineering Technician.

18. The Contractor must call for concrete form inspection and/or string inspection prior to pouring concrete

19. The Contractor must call for sight distance inspection prior to project completion. This inspection will include driveways and intersections for vehicular sight distance, and sidewalk and other pedestrian facilities for pedestrian sight distance. Final sight distance must take into consideration the anticipated height of mature landscaping.

20. The Contractor must provide for construction worker parking, equipment storage, and material storage on site. Exceptions may be granted by the Transportation Department Director under certain conditions.

21. The Contractor is responsible for installation and coordination of public and franchise utilities. This work must be coordinated such that, for example, the placements of utility vaults do not create a conflict with the installation of driveway approaches and/or sidewalks at 2% cross slope and maximum of 8% running slope per ADA requirements.

22. Where required in approval conditions, permanent pipe monuments shall be set along the street centerline at all intersections, curve tangent points, and cul-de-sac radius points. The pipe monuments shall be a Bertsen A130 Aluminum Standard Monument (30" long) or equivalent, together with standard iron casting case and cover. These materials and specifications are shown in City of Bellevue Standard Drawing DEV-12 (Cap Detail B).

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NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

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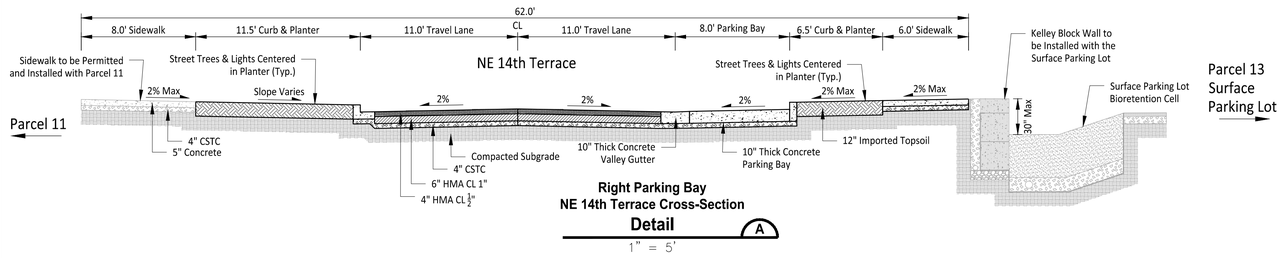
JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

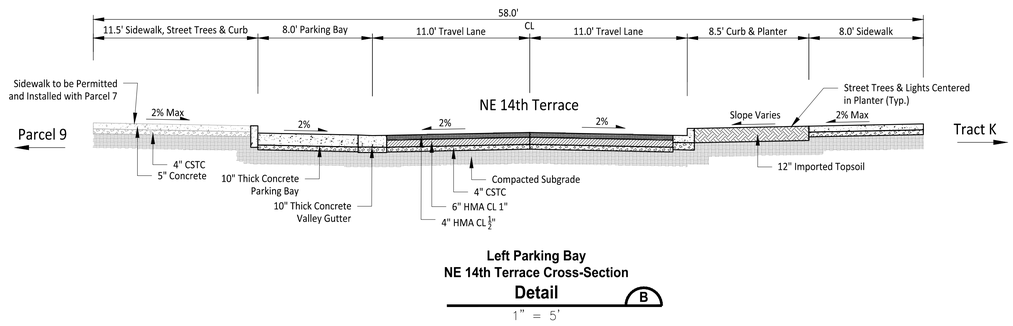
DRAWN BY:
DESIGN BY: J. Jones
PROJ.NO: 1500-001-016
DATE: March 16, 2017

DWG.
Road General Notes

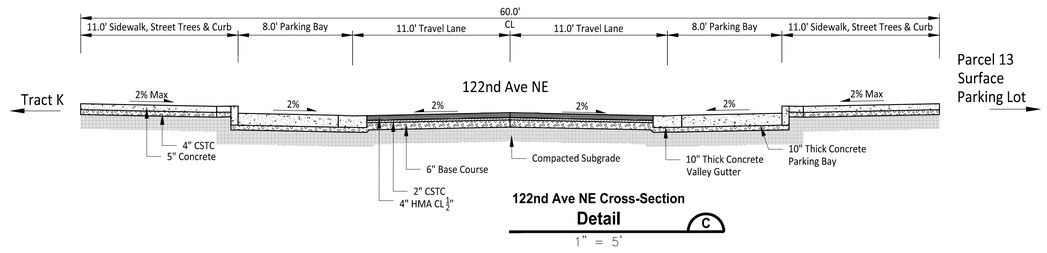
DWG.
C3-201



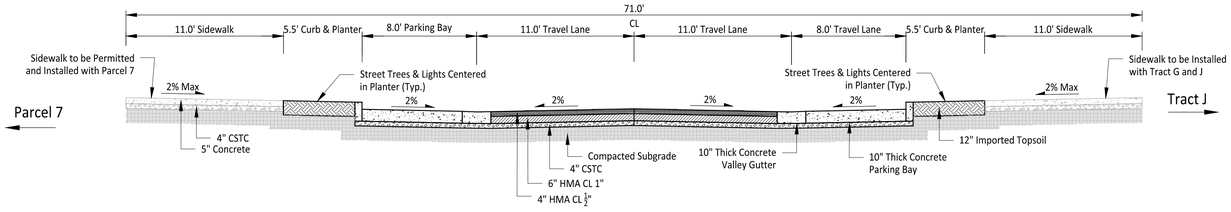
Right Parking Bay
NE 14th Terrace Cross-Section
Detail A
1" = 5'



Left Parking Bay
NE 14th Terrace Cross-Section
Detail B
1" = 5'



122nd Ave NE Cross-Section
Detail C
1" = 5'



121st Ave NE Cross-Section
Detail D
1" = 5'

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Sumner, WA 98390
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Project:
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NE 14th Terrace & 121st Avenue NE

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JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED PROFESSIONAL ENGINEER
03/16/2017

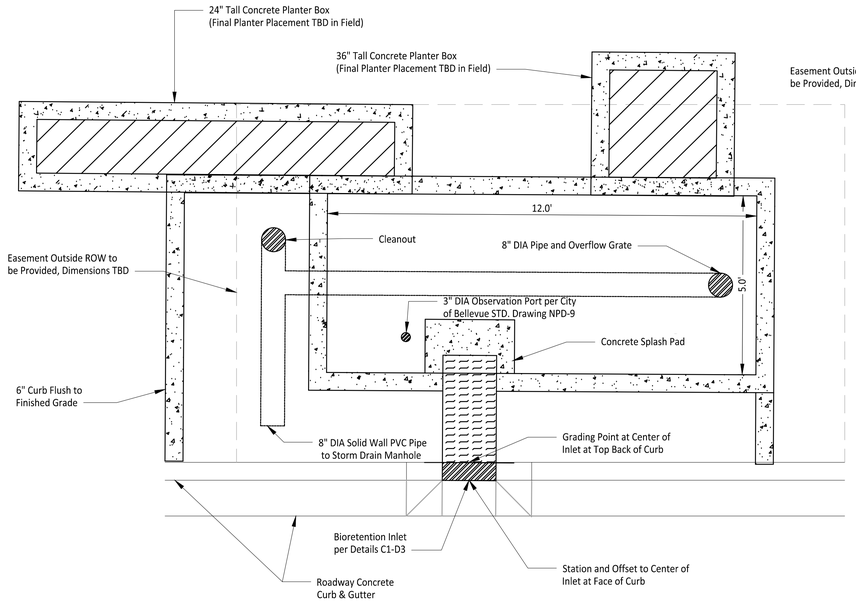
REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017

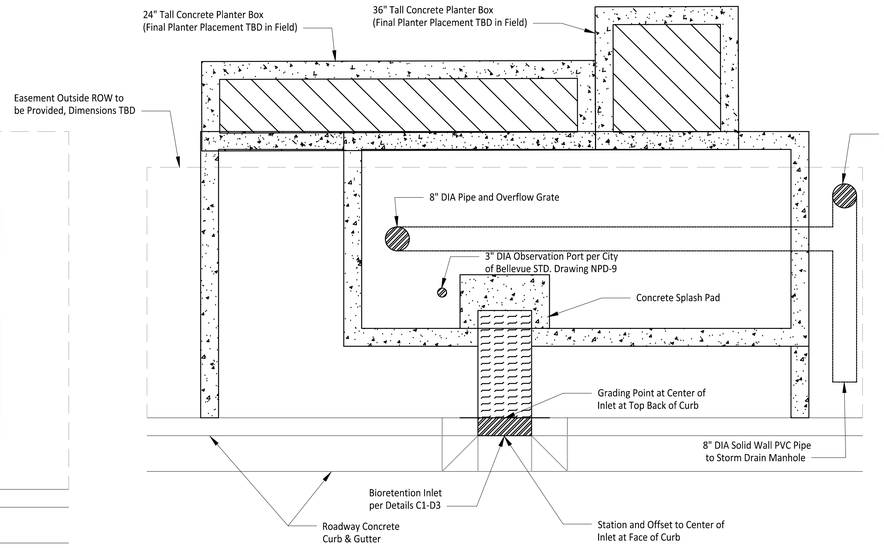
DWG.
Road Details

DWG. C3-202

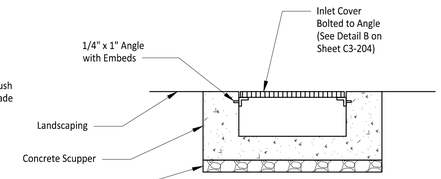
File: 1500001C-016-RD-DT.dwg Path: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: jharkins Date: 14-Mar-17 3:02:00pm



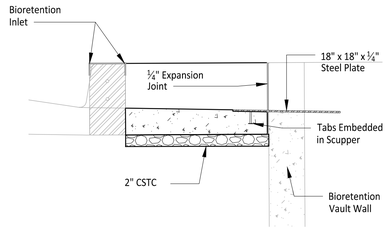
5'x12' BIORETENTION CELL, OPTION 1
PLAN VIEW A
1" = 2'0" C3-203



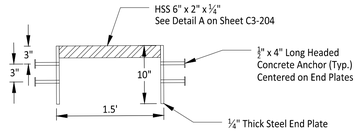
5'x12' BIORETENTION CELL, OPTION 2
PLAN VIEW B
1" = 2'0" C3-203



TYPICAL BIORETENTION SCUPPER
SECTION C1
1" = 1'0" C3-203



TYPICAL BIORETENTION SCUPPER
SECTION C2
1" = 1'0" C3-203



TYPICAL BIORETENTION INLET
SECTION D1
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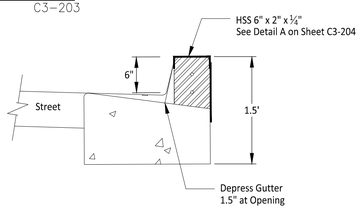

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SECTION D2
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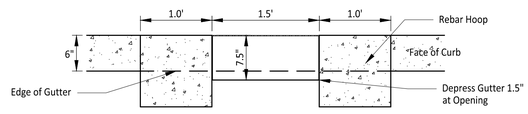

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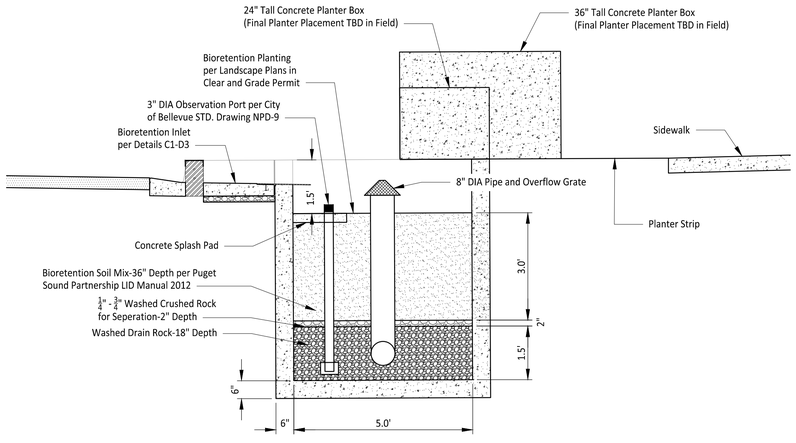
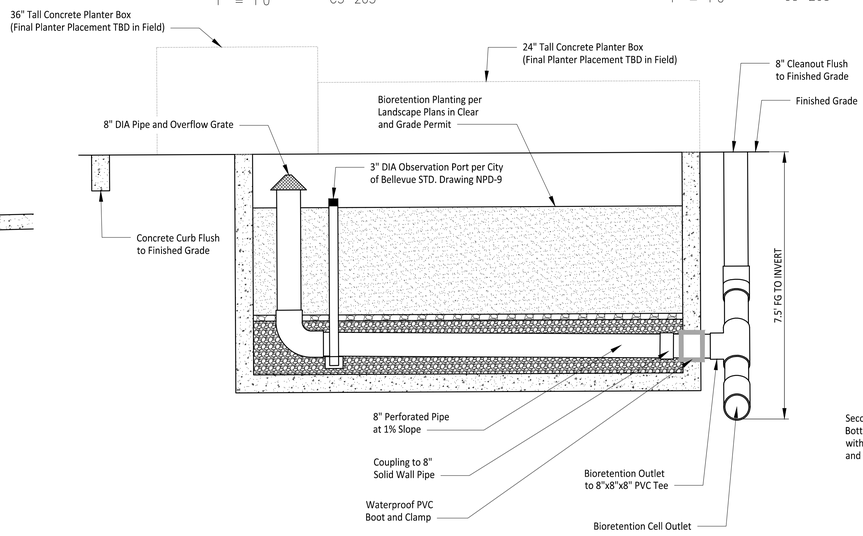
SECTION C3
1" = 1'0" C3-203



TYPICAL BIORETENTION CELL
SECTION E
1" = 2'0" C3-203



TYPICAL BIORETENTION CELL
SECTION F
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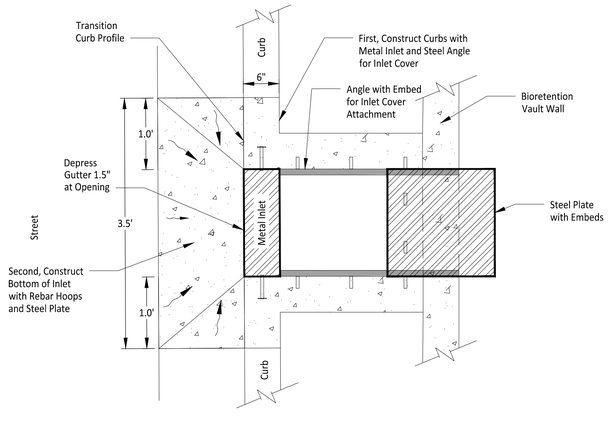

TYPICAL BIORETENTION INLET
DETAIL D3
1" = 1'0" C3-203

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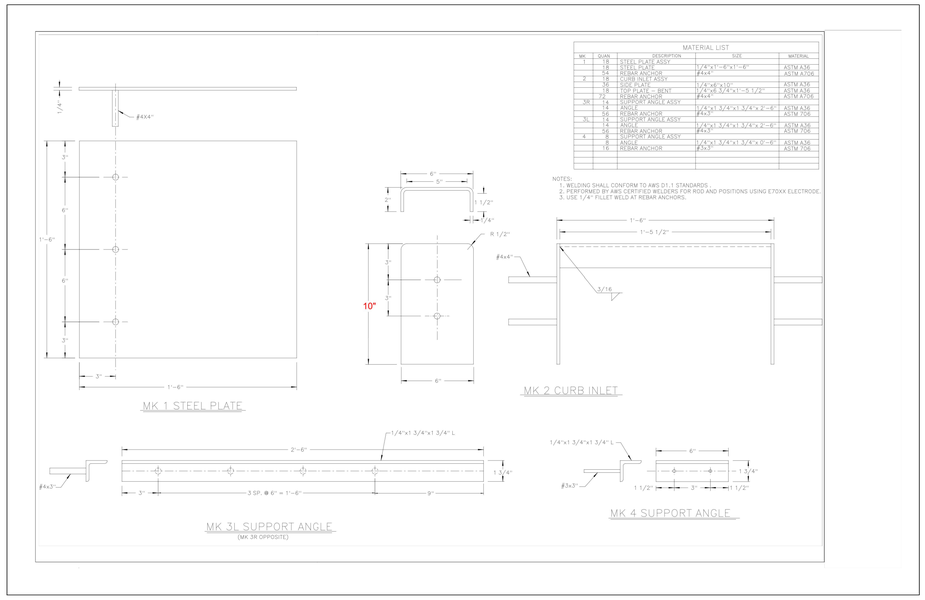
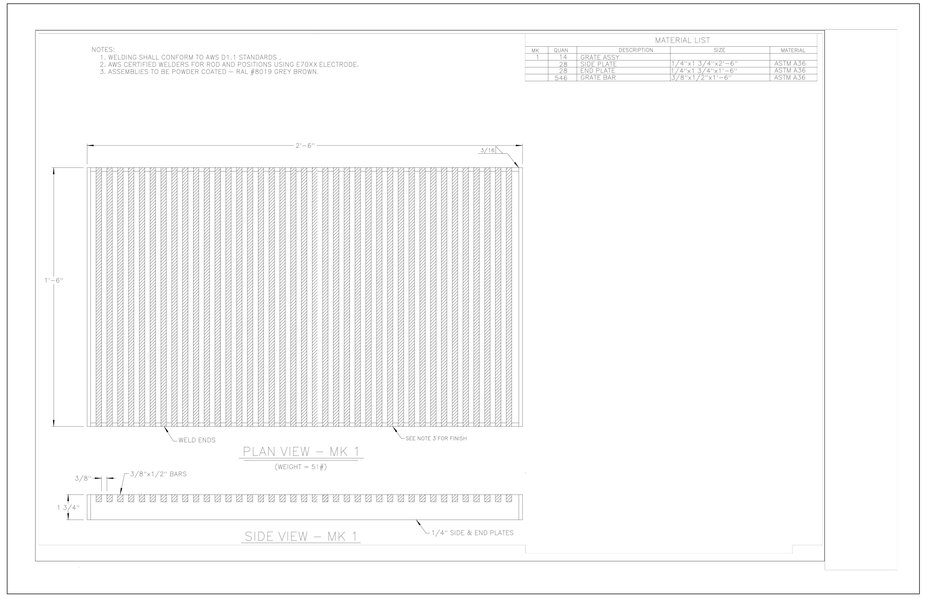
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017

DWG.
Road Details

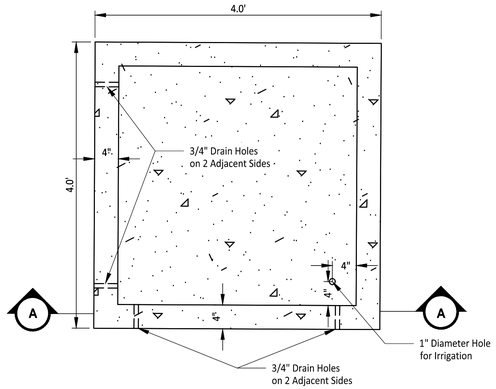
DWG.
C3-203



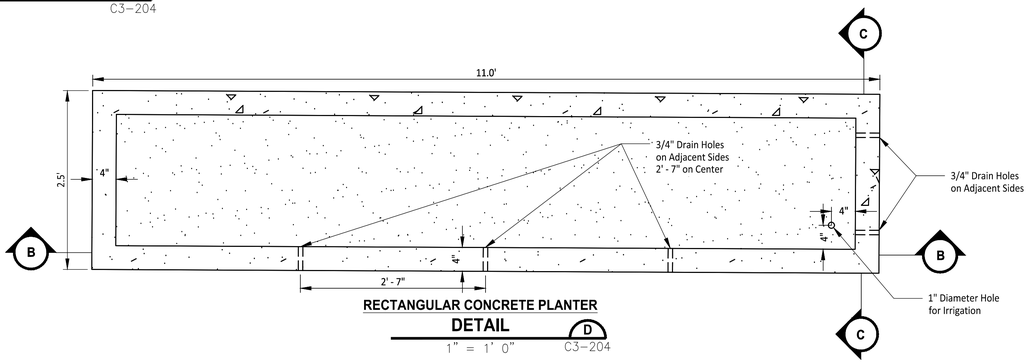
BIORETENTION METAL INLET
DETAIL A
C3–204



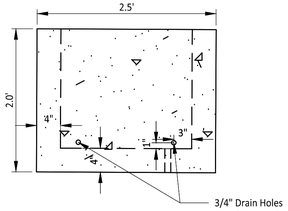
METAL INLET COVER
DETAIL B
C3–204



SQUARE CONCRETE PLANTER
DETAIL C
1" = 1' 0" C3–204



RECTANGULAR CONCRETE PLANTER
DETAIL D
1" = 1' 0" C3–204



RECTANGULAR CONCRETE PLANTER
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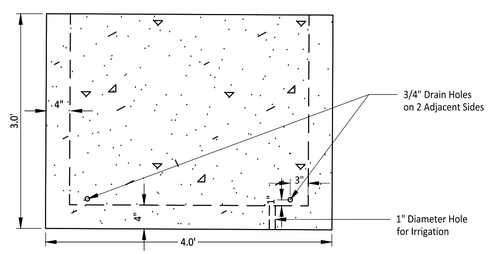

SQUARE CONCRETE PLANTER
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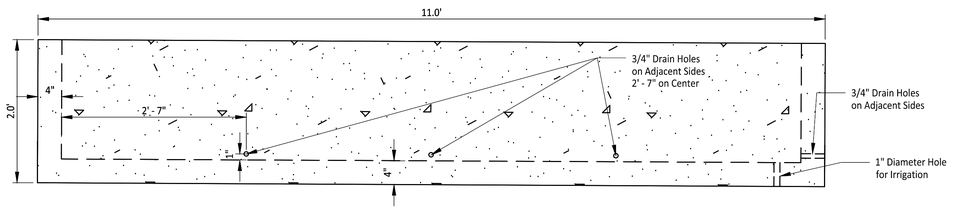

RECTANGULAR CONCRETE PLANTER
SECTION B G
1" = 1' 0" C3–204

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PROFESSIONAL ENGINEER
03/16/2017

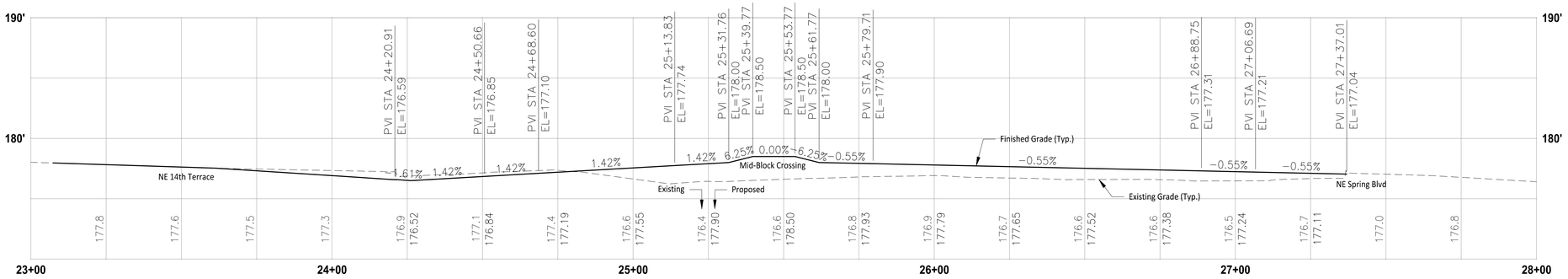
REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017

DWG.
Road Details

DWG.
C3-204

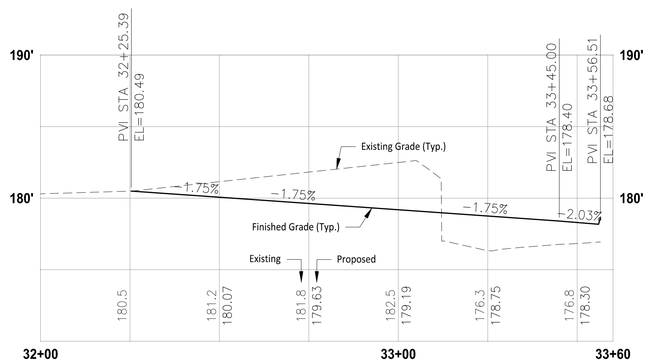
PROFILE VIEW: 121ST AVENUE NE CENTERLINE



PROFILE

HORIZ: 1=20'
VERT: 1=5'

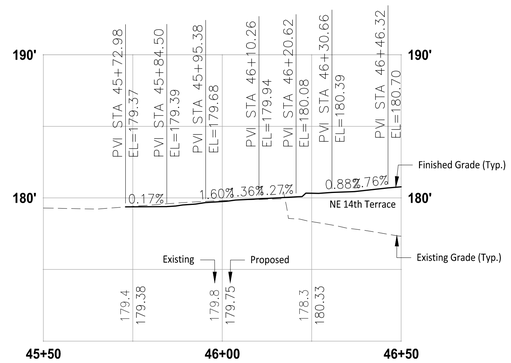
PROFILE VIEW: 122ND AVENUE NE CENTERLINE



PROFILE

HORIZ: 1=20'
VERT: 1=5'

PROFILE VIEW: 123RD AVENUE NE CENTERLINE



PROFILE

HORIZ: 1=20'
VERT: 1=5'

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UTILITIES UNDERGROUND LOCATION CENTER

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Seattle, WA 98101
(206) 447-9000

Architect:
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GGN
1932 1st Ave
Suite 700
Seattle, WA 98101
(206) 903-6802

Engineer:
JMJ Team
PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
THE SPRING DISTRICT
NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

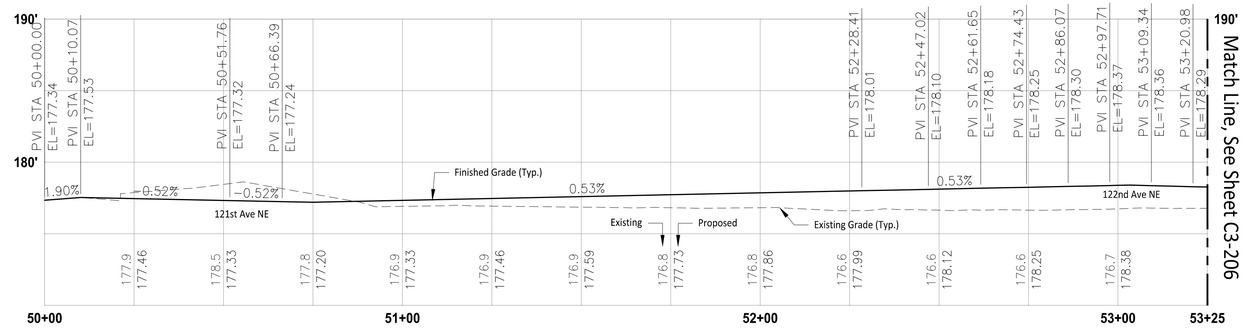
REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ NO: 1500-001-016
DATE: March 16, 2017

DWG.
Road Profiles

DWG. C3-205

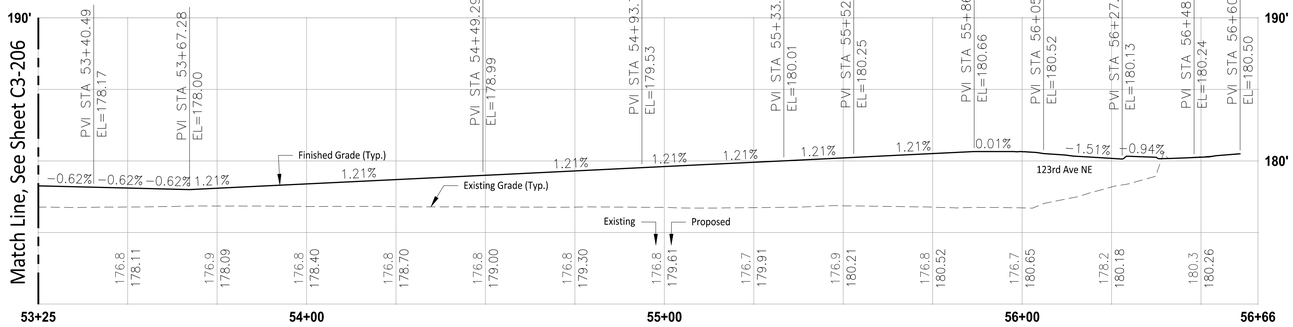
PROFILE VIEW: NE 14TH TERRACE CENTERLINE - 1



PROFILE

HORIZ: 1=20'
VERT: 1=5'

PROFILE VIEW: NE 14TH TERRACE CENTERLINE - 2



PROFILE

HORIZ: 1=20'
VERT: 1=5'

Owner/Developer:
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Wright Runstad & Company
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Suite 2700
Seattle, WA 98101
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Bellevue, WA 98005

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JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ NO: 1500-001-016
DATE: March 16, 2017
DWG.
Road Profiles

DWG. C3-206

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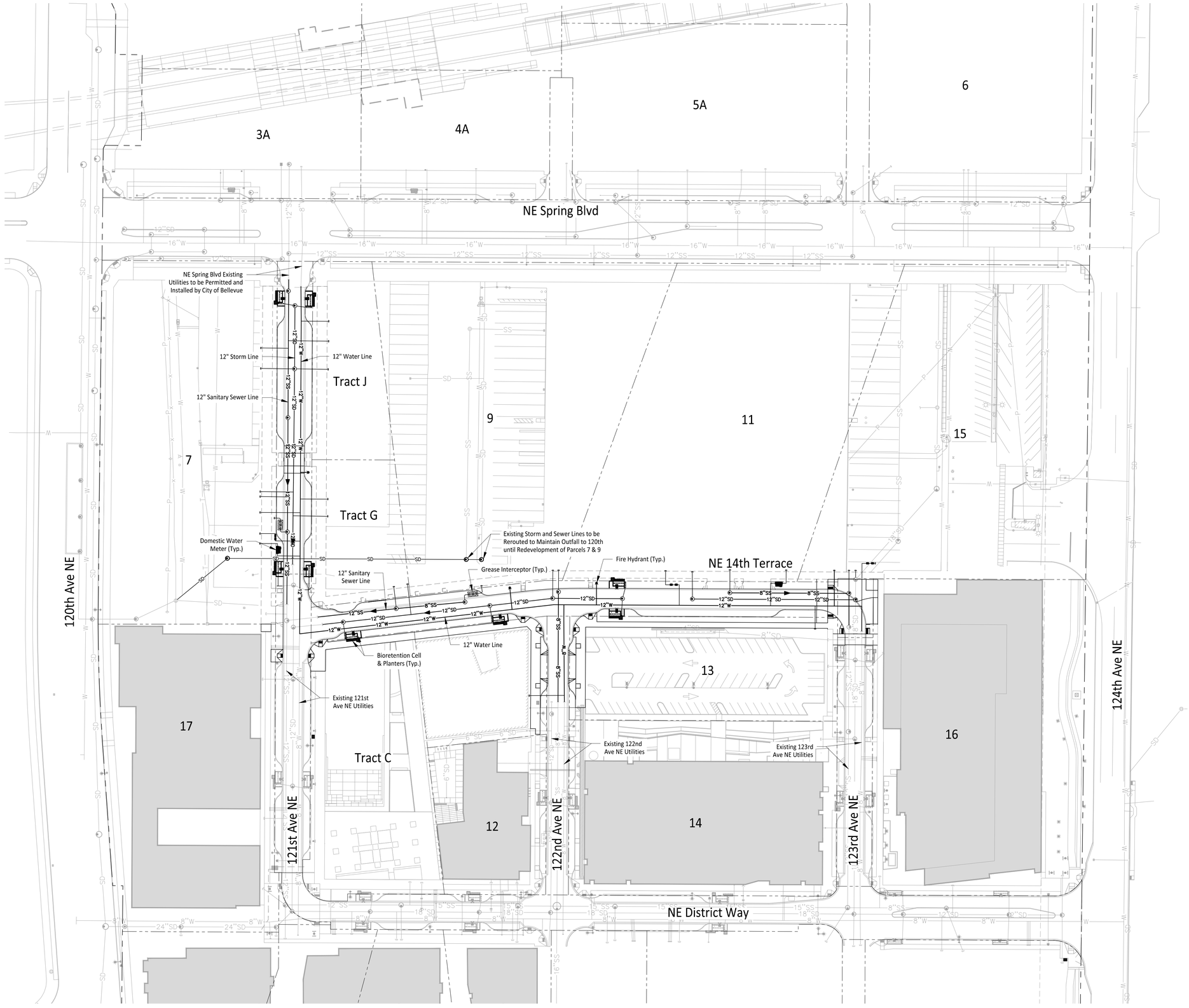

GENERAL NOTES

1. NE Spring Blvd, BrewPub, Building 16, and Parcel 17 residential are under design/permitting. For this submittal, they have been shown as existing.

0 50 100 FT

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REV	DATE	DESCRIPTION

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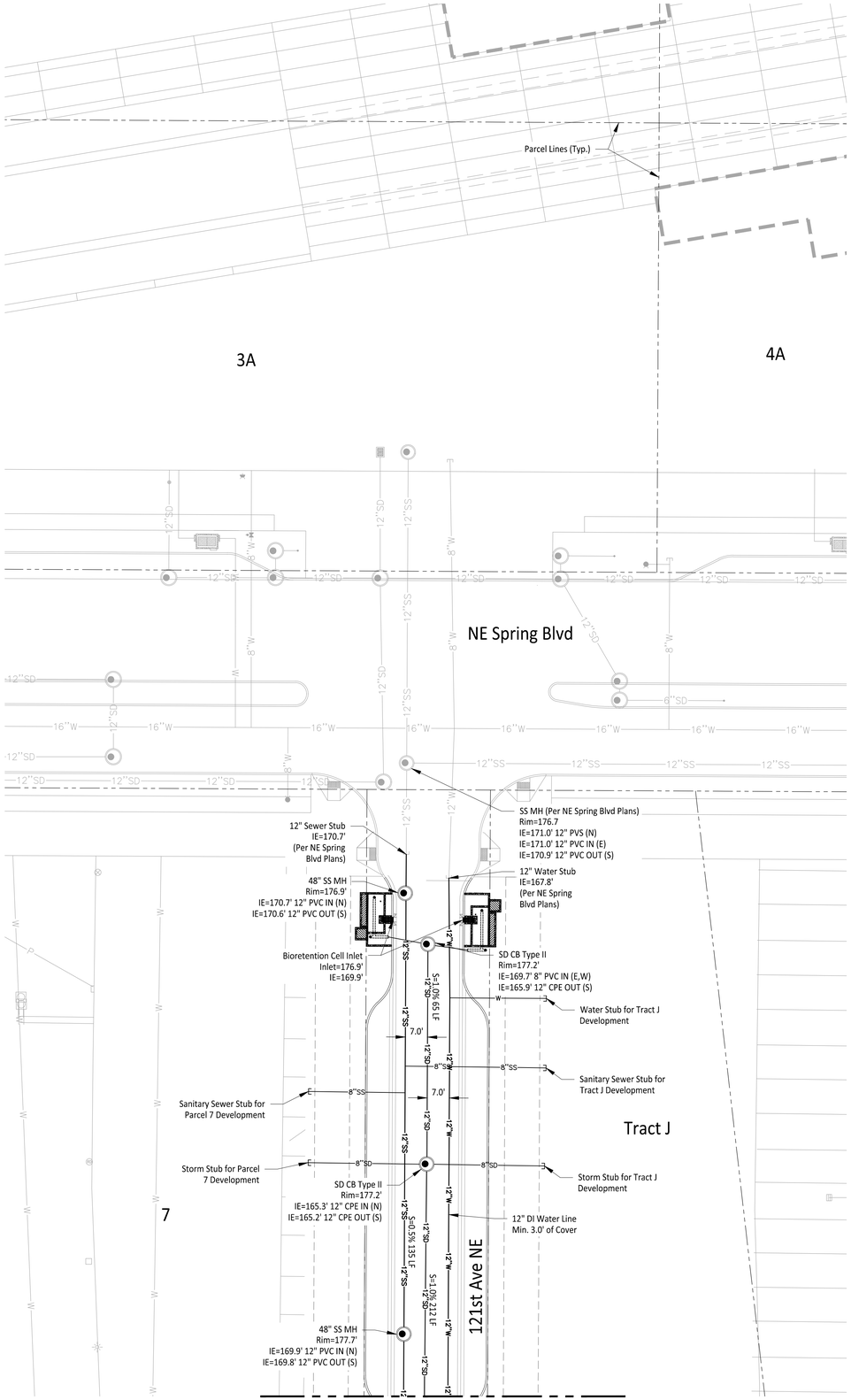
DWG.
Composite Utility Plan

DWG.
C3-301

File: 1500001C-016-UT.dwg Path: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: pwalker Date: 14-Mar-17 2:21:00pm



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THE SPRING DISTRICT

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Preliminary SEPA

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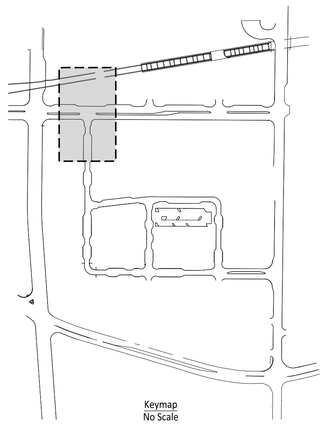

0 20 40 FT

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REV	DATE	DESCRIPTION

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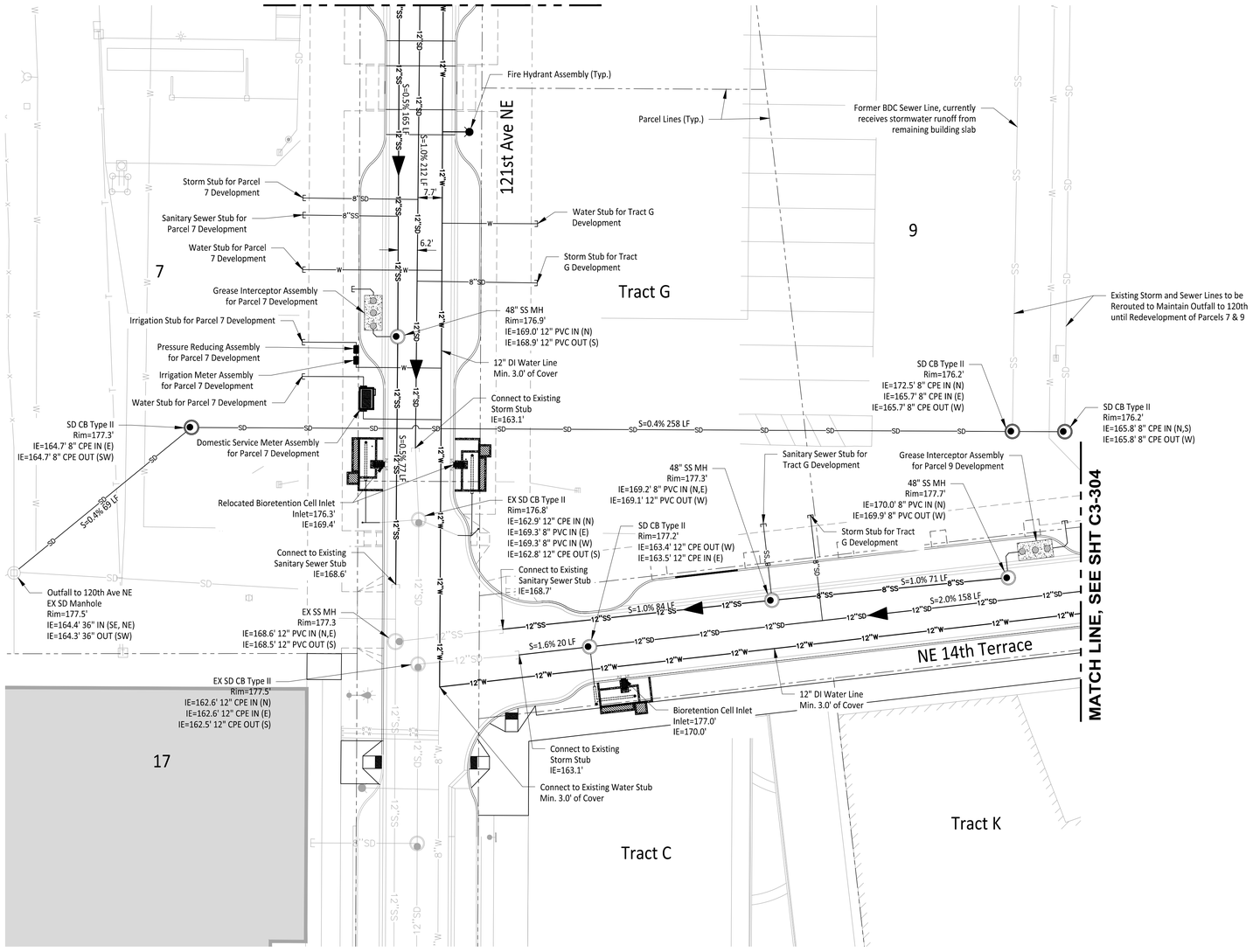
PROJ NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Utility Plan

DWG.
C3-302



Owner/Developer:
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NE 14th Terrace & 121st Avenue NE
Preliminary SEPA

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Bellevue, WA 98005

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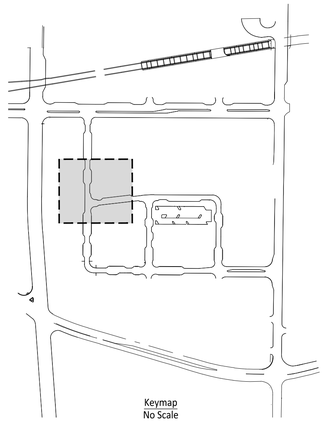

0 20 40 FT

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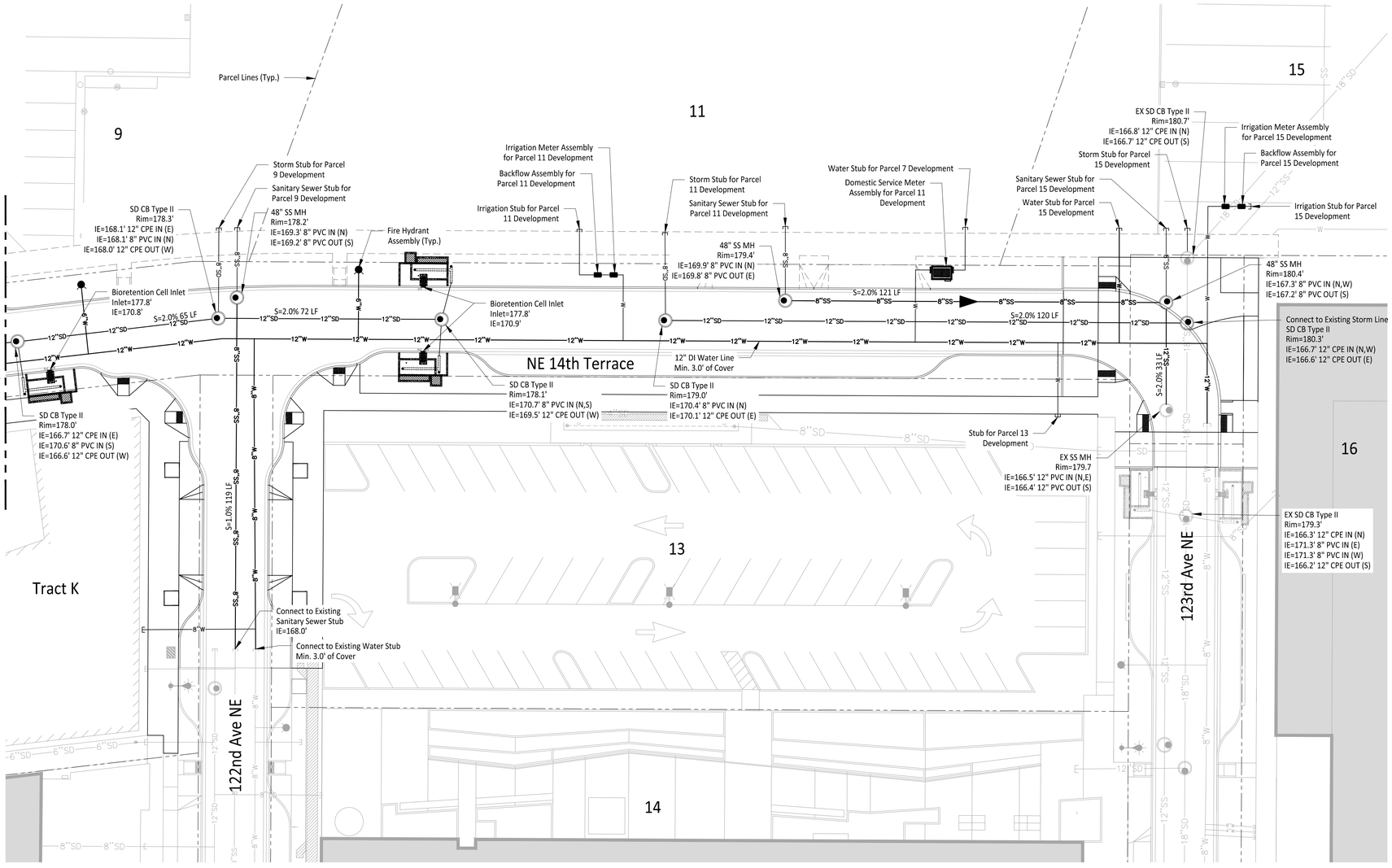
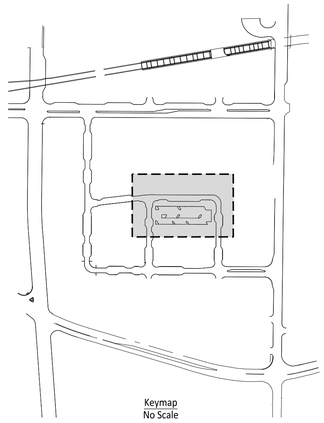
DESIGN BY: J. Jones
PROJ. NO: 1500-001-016
DATE: March 16, 2017
DWG. Utility Plan
DWG. C3-303





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Project:
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JUSTIN M. JONES STATE OF WASHINGTON 41829 REGISTERED PROFESSIONAL ENGINEER
03/16/2017

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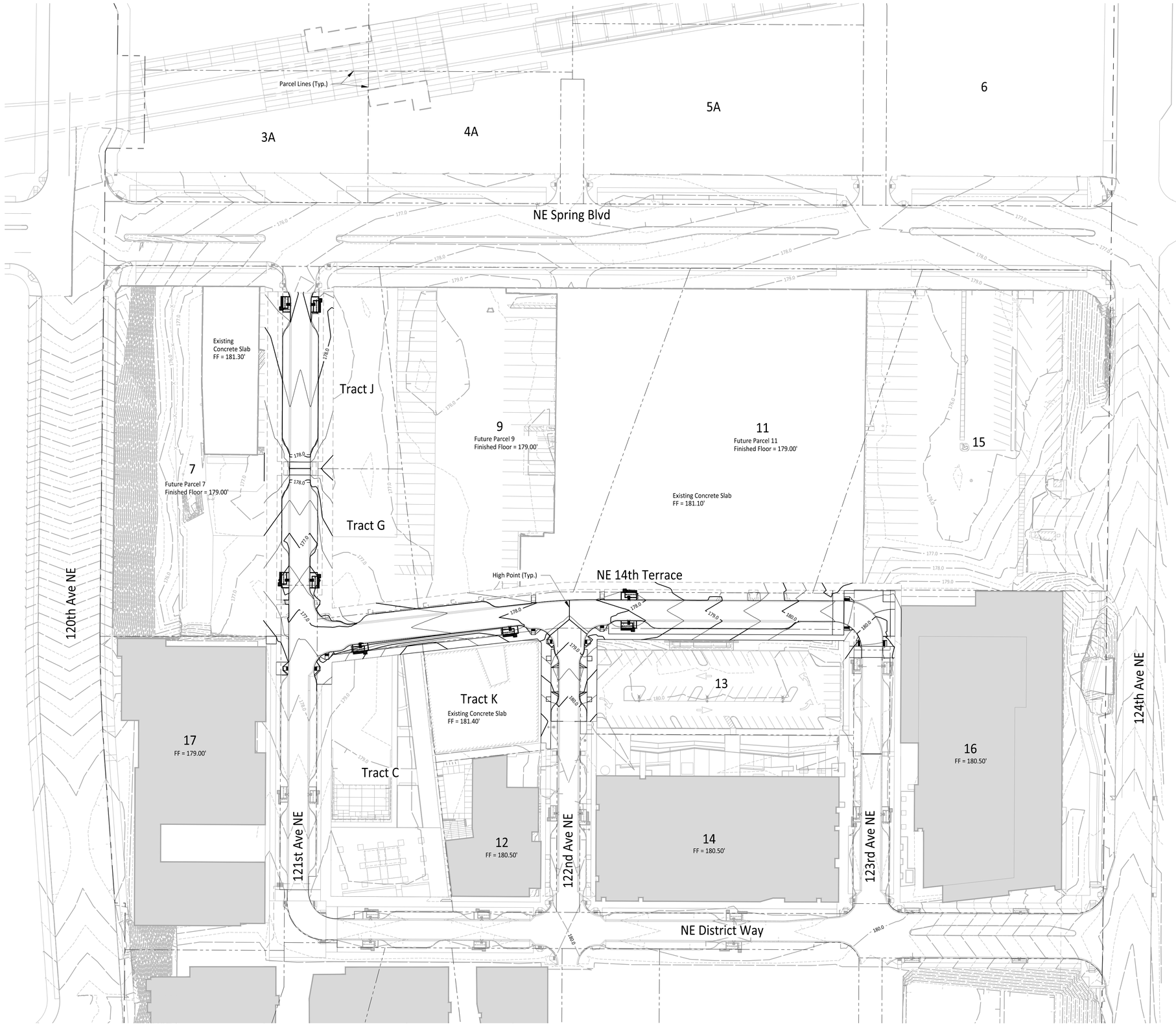
PROJ. NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Utility Plan

DWG.
C3-304



GENERAL NOTES

1. Total Cut Volume = 3,100 CY
2. Total Fill Volume = 5,400 CY

Owner/Developer:
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THE SPRING DISTRICT

NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

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JUSTIN M. JONES
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44829
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PROFESSIONAL ENGINEER
03/16/2017

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DRAWN BY:	DESIGN BY: J. Jones
PROJ NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Composite Grading Plan

DWG.
C4-101

0 50 100 FT

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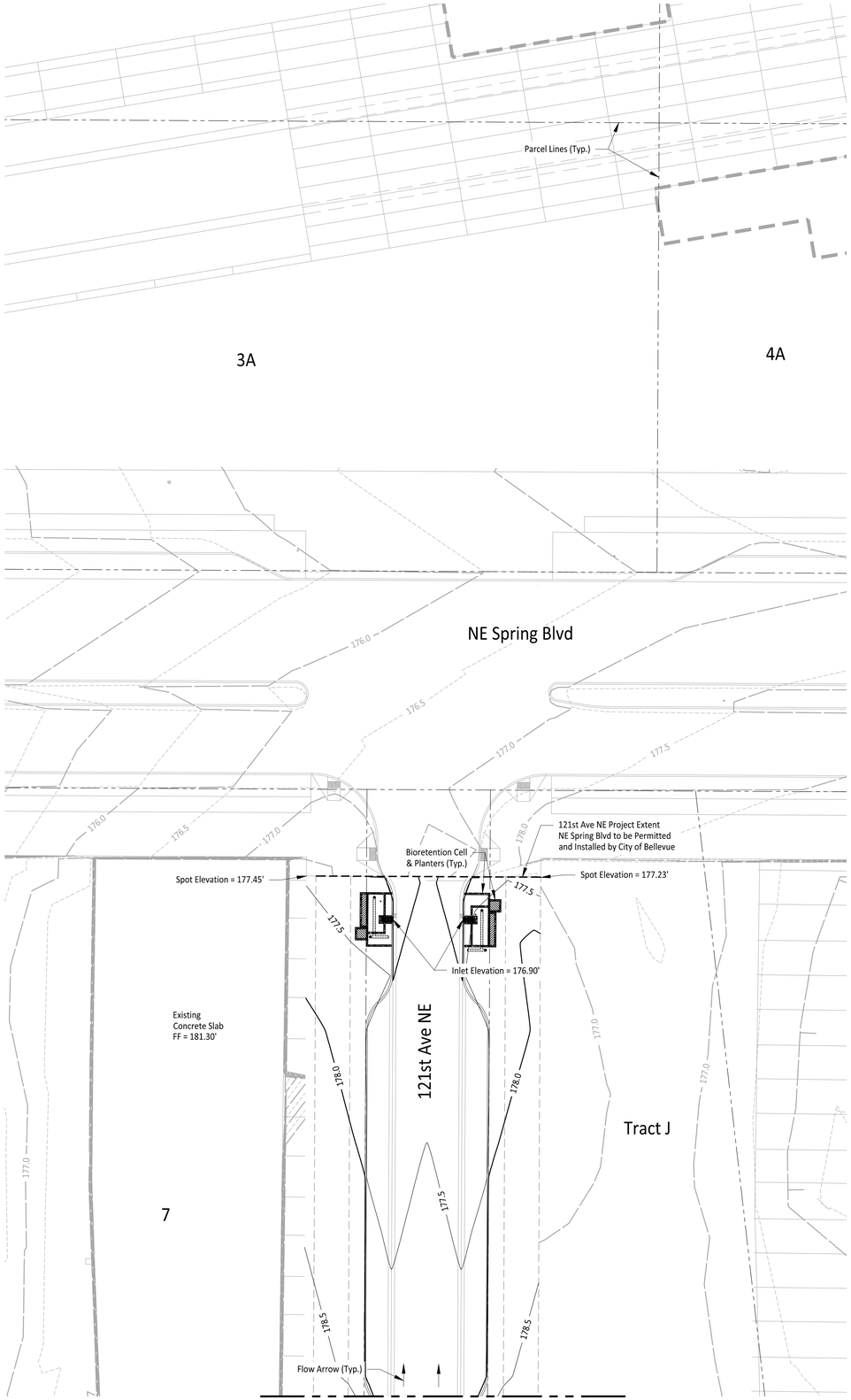

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Engineer:
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Project:

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NE 14th Terrace &
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Preliminary SEPA

The Spring District
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Bellevue, WA 98005

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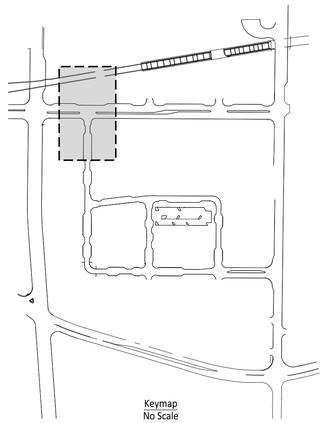

0 20 40 FT

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STEVEN M. JONES
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03/16/2017

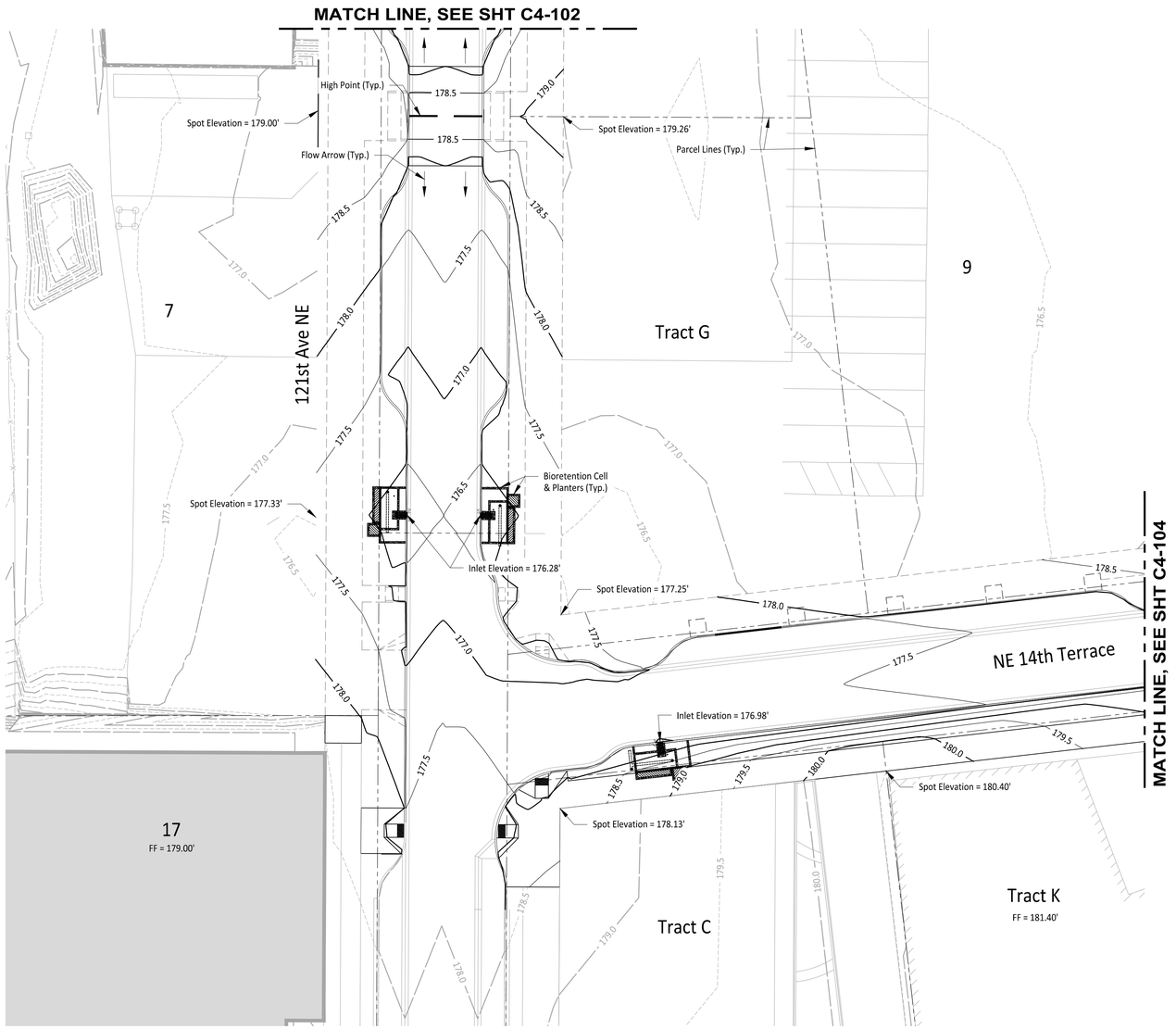
REV	DATE	DESCRIPTION

DRAWN BY:	DESIGN BY: J. Jones
PROJ. NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Grading Plan

DWG.
C4-102

File: 1500001C-016-CR.dwg Path: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: pwalker Date: 14-Mar-17 12:11:49pm



Owner/Developer:
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Wright Runstad & Company
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(206) 447-9000

Architect:
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GGN
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Engineer:
JMJ Team
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Sumner, WA 98390
(206) 596-2020

Project:

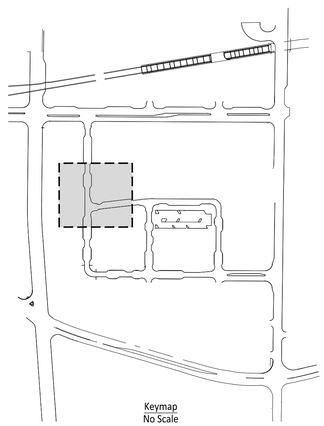
THE SPRING DISTRICT

NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY



Keymap
No Scale

0 20 40 FT

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UTILITIES UNDERGROUND LOCATION CENTER

JUSTIN M. JONES
STATE OF WASHINGTON
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REGISTERED
PROFESSIONAL ENGINEER
03/16/2017

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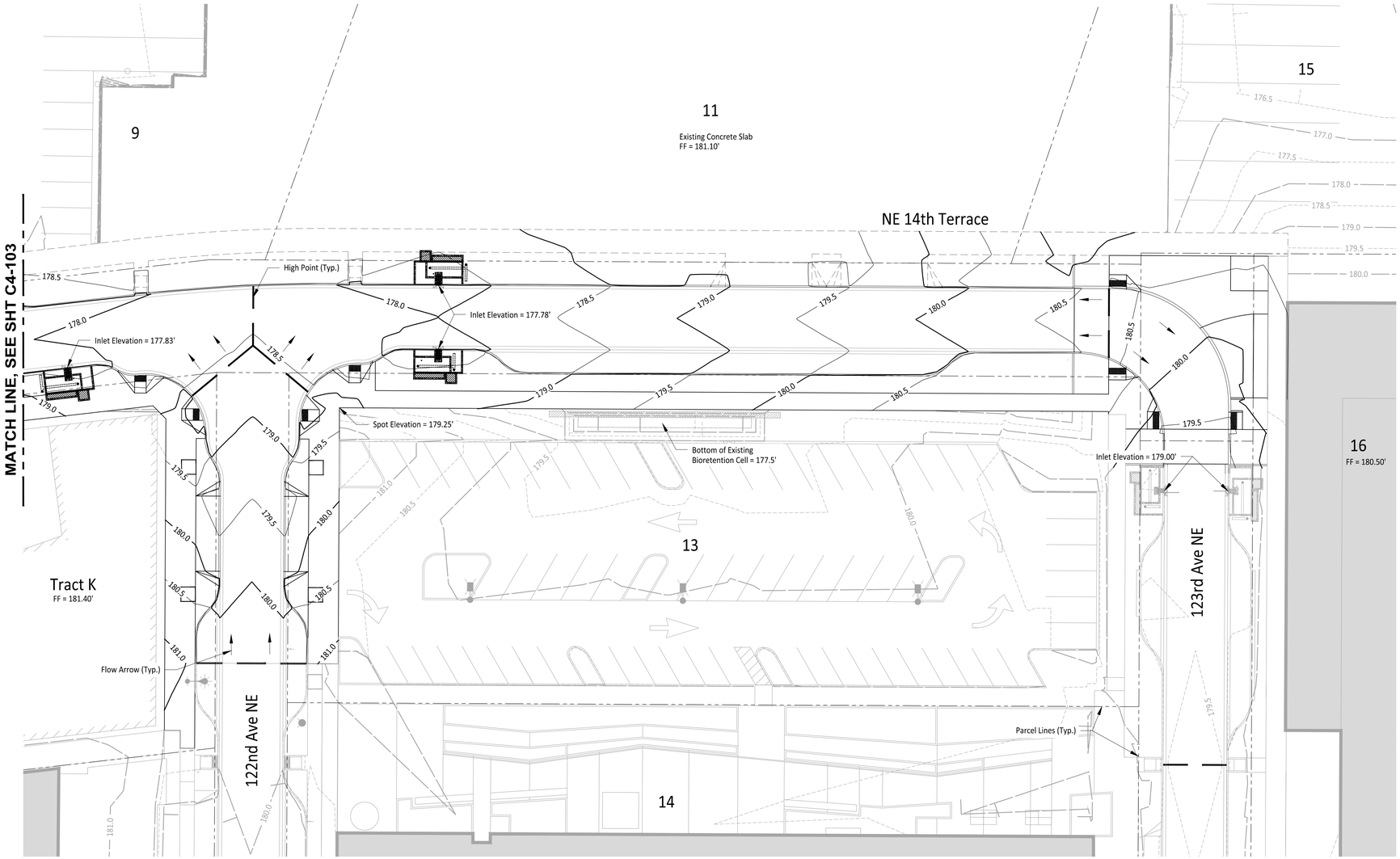
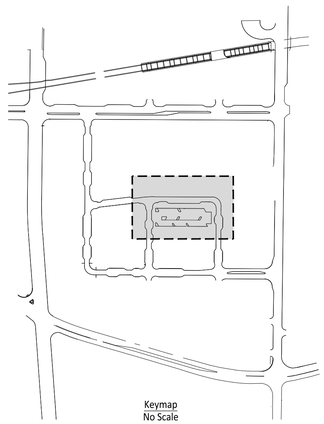
DWG.
Grading Plan

DWG.
C4-103





0 20 40 FT

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Bellevue, WA 98005

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IF NOT, SCALE ACCORDINGLY

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03/16/2017

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PROJ NO: 1500-001-016
DATE: March 16, 2017

DWG.
Grading Plan

DWG.
C4-104

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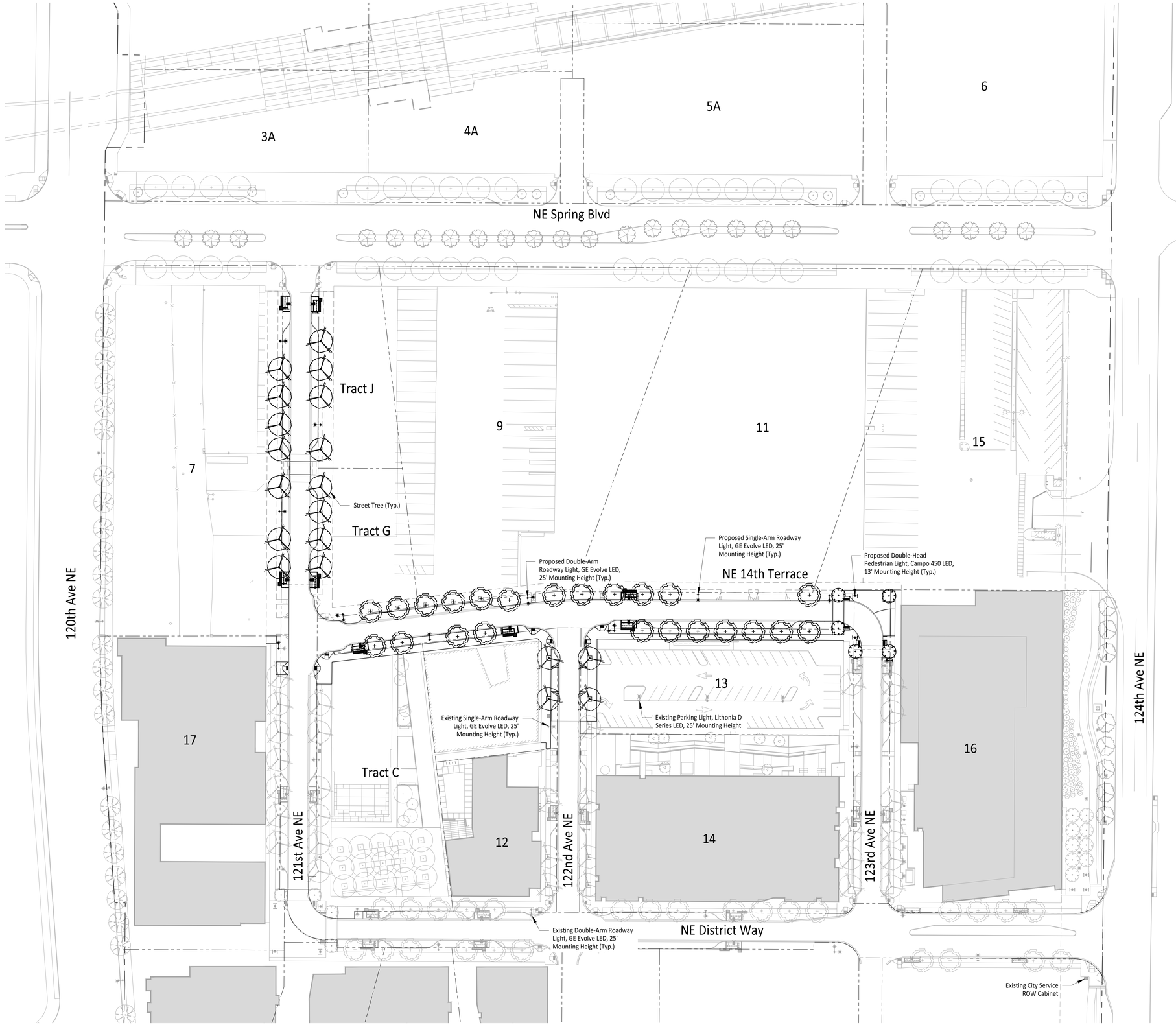

0 50 100 FT

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THE SPRING DISTRICT

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Preliminary SEPA

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STATE OF WASHINGTON
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REGISTERED PROFESSIONAL ENGINEER
03/16/2017

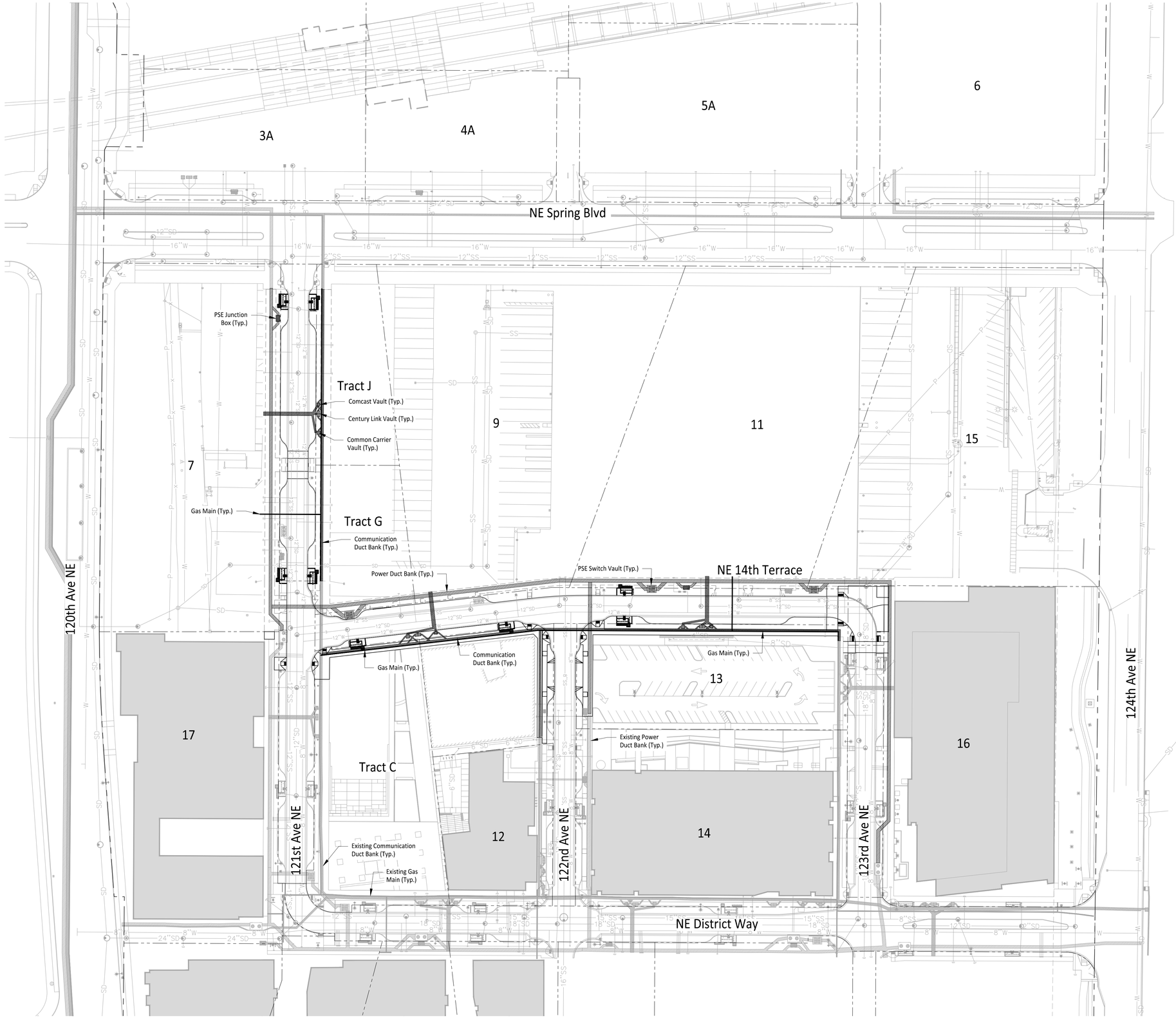
REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY: J. Jones
PROJ NO: 1500-001-016
DATE: March 16, 2017

DWG.
Preliminary Street Lighting Plan

DWG.
C5-101

File: 1500001C-016-illU.dwg Paths: J:\1500 - Wright Runstad & Company\1500-001 Spring District\016 - Phase II Infrastructure - NE 14th Terrace & 121st Ave\02-Preliminary SEPA\CADD\ Plotted by: pwalker Date: 14-Mar-17 2:11:22pm



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Engineer:
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NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

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44020
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03/16/2017

REV	DATE	DESCRIPTION

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PROJ NO:	1500-001-016
DATE:	March 16, 2017

DWG.
Composite Joint Utility Trench Plan

DWG.
C6-101

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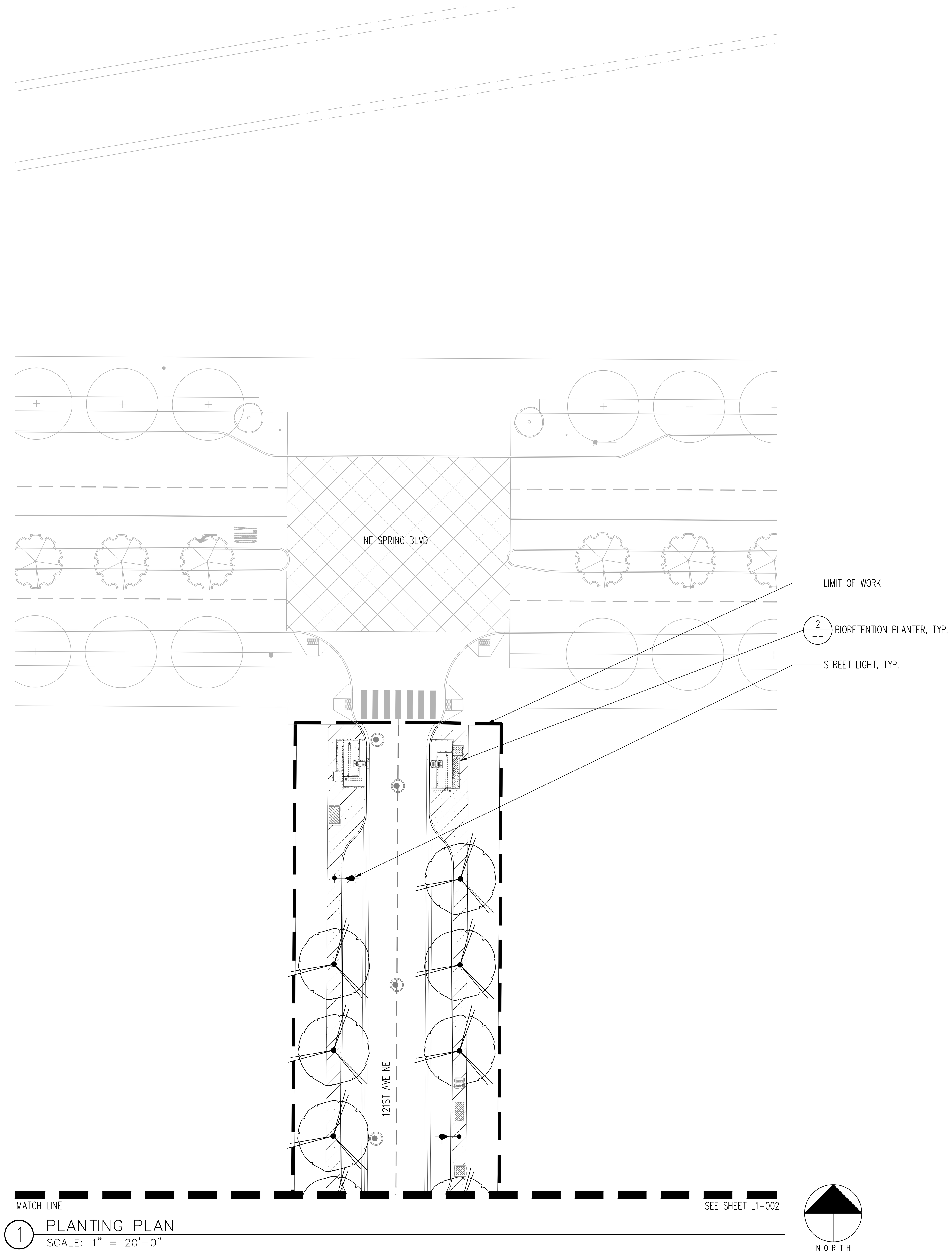


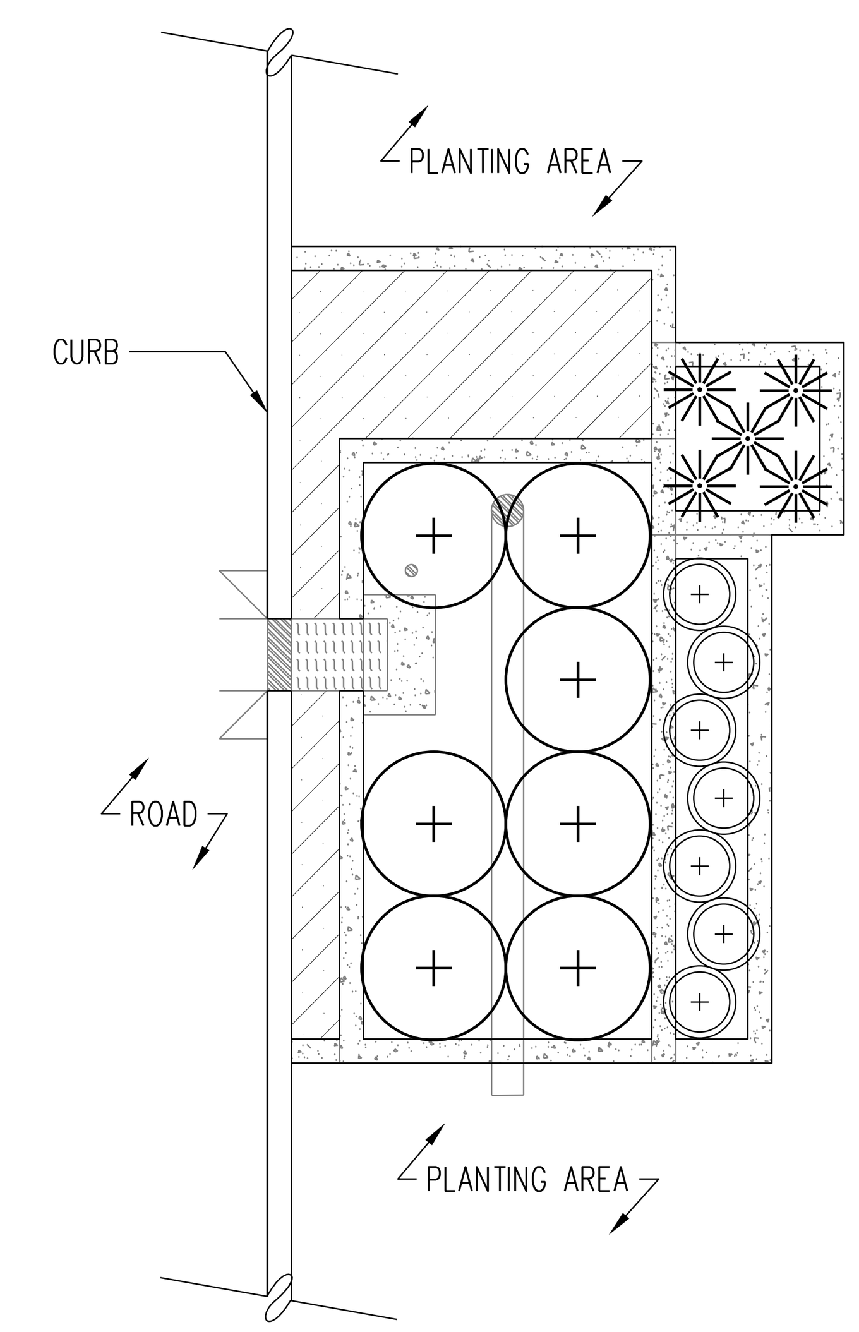
1 PLANTING PLAN
SCALE: 1" = 20'-0"

STREET TREE SCHEDULE

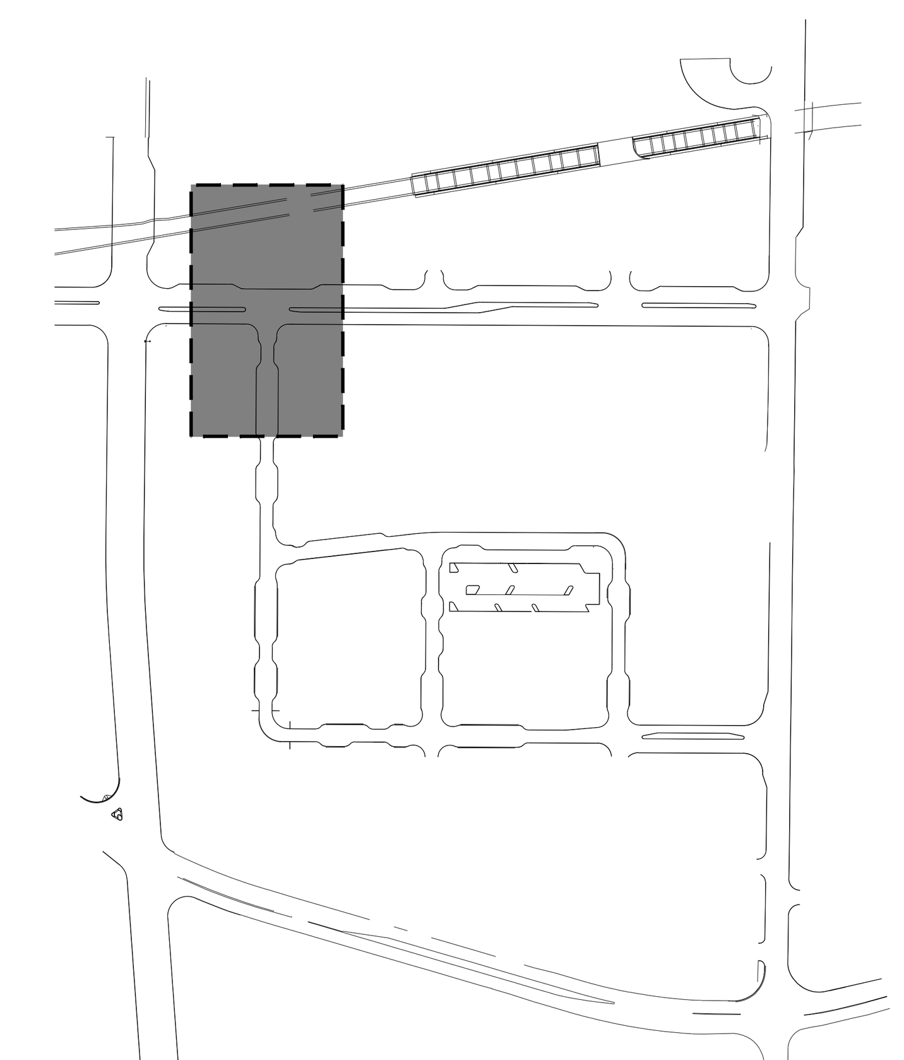
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	COMMENTS
	19	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	4" CAL.	30' O.C. TYP.	
	23	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	3-4" CAL.	30' O.C. TYP.	SINGLE STEM
	5	OXYDENDRUM ARBOREUM	SOURWOOD	3-4" CAL.	AS SHOWN	

STREET PLANTING SCHEDULE

SYMBOL	AREA	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	COMMENTS
PLANTING STRIP						
	11,340 SF	LIRIOPE MUSCARI	LILYTURF	1 GAL	12" O.C.	
BIORETENTION PLANTER						
	298 SF	LIRIOPE MUSCARI	LILYTURF	1 GAL.	12" O.C.	
	40	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	18" O.C.	
	56	PRUNUS LAUROCERASUS 'MT VERNON'	DWARF ENGLISH LAUREL	2 GAL.	18" O.C.	
	56	CORNUS SANGUINEA 'MIDWINTER FIRE'	BLOODTWIG DOGWOOD	5 GAL.	36" O.C.	



2 DETL: TYPICAL BIORETENTION PLANTING
SCALE: 1/4" = 1'-0"



Keymap
No Scale

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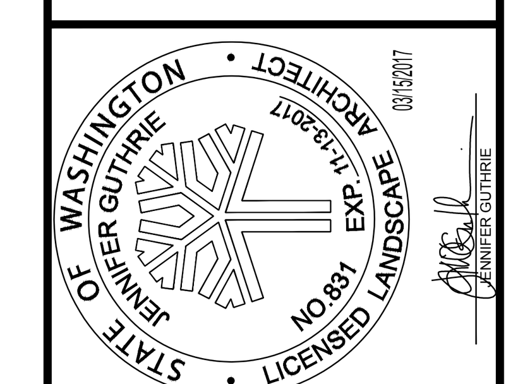
Engineer:
JMJ TEAM
JMJ Team
PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
THE SPRING DISTRICT
NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

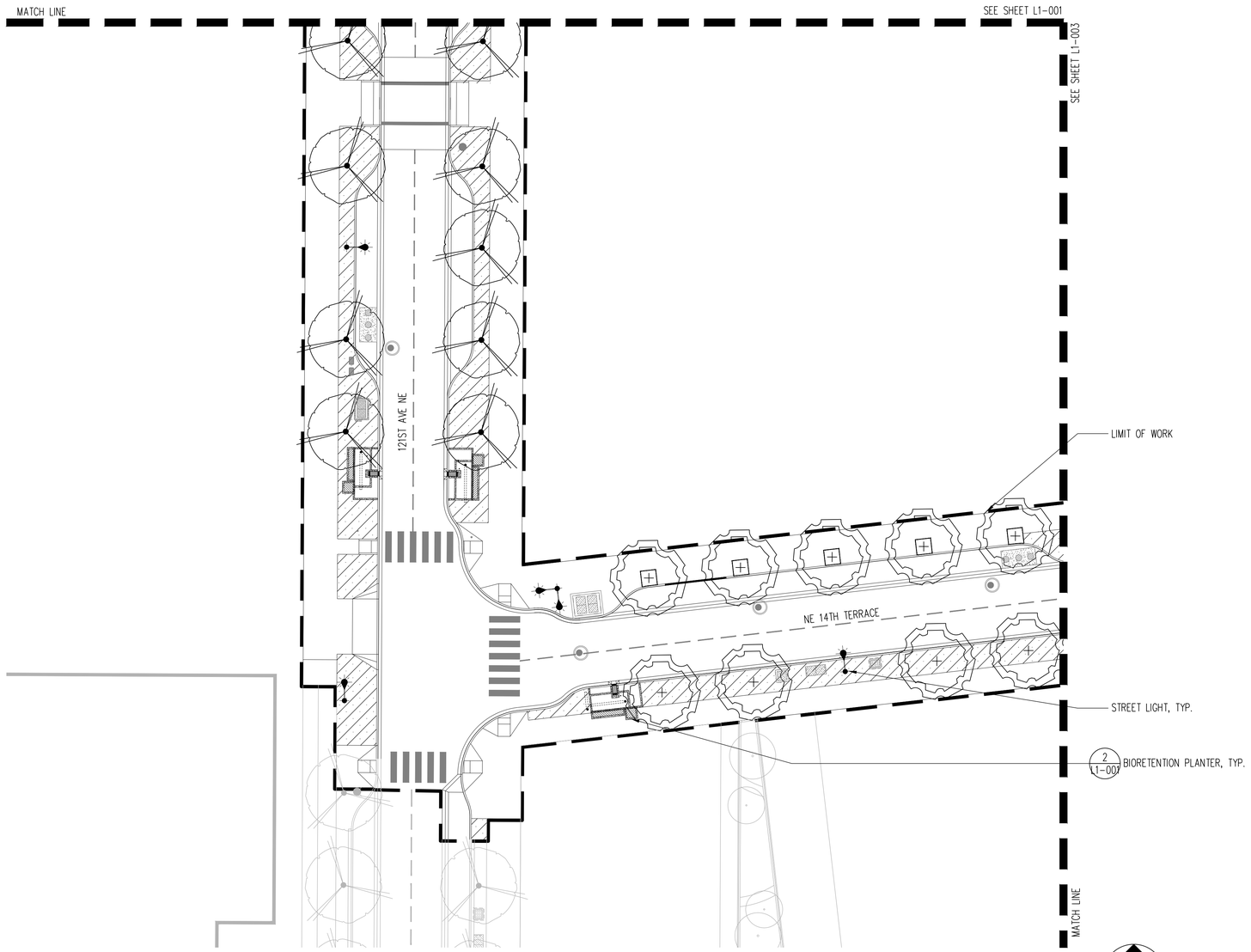


REV	DATE	DESCRIPTION

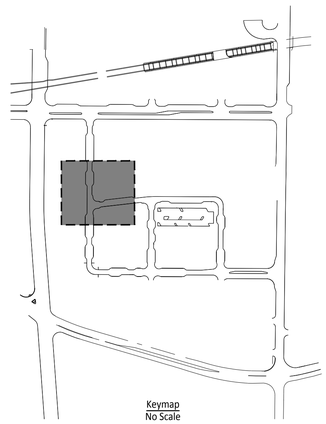
DRAWN BY: DESIGN BY:
PROJ. NO: 1500-001-016
DATE: March 16, 2017
DWG. PLANTING PLAN
DWG. L1-001

NOTE:

SEE L1-001 FOR PLANTING SCHEDULE



1 PLANTING PLAN
SCALE: 1" = 20'-0"



CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
WRIGHT RUNSTAD & COMPANY
Wright Runstad & Company
1201 Third Avenue
Suite 2700
Seattle, WA 98101
(206) 447-9000

Architect:
GGN
GGN
1932 1st Ave
Suite 700
Seattle, WA 98101
(206) 903-6802

Engineer:
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PO Box 2066
Sumner, WA 98390
(206) 596-2020

Project:
THE SPRING DISTRICT
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STATE OF WASHINGTON · JENNIFER GUTHRIE · LICENSED LANDSCAPE ARCHITECT · NO. 881 · EXP. 10/5/2017

REV	DATE	DESCRIPTION

DRAWN BY:
DESIGN BY:
PROJ. NO: 1500-001-016
DATE: March 16, 2017

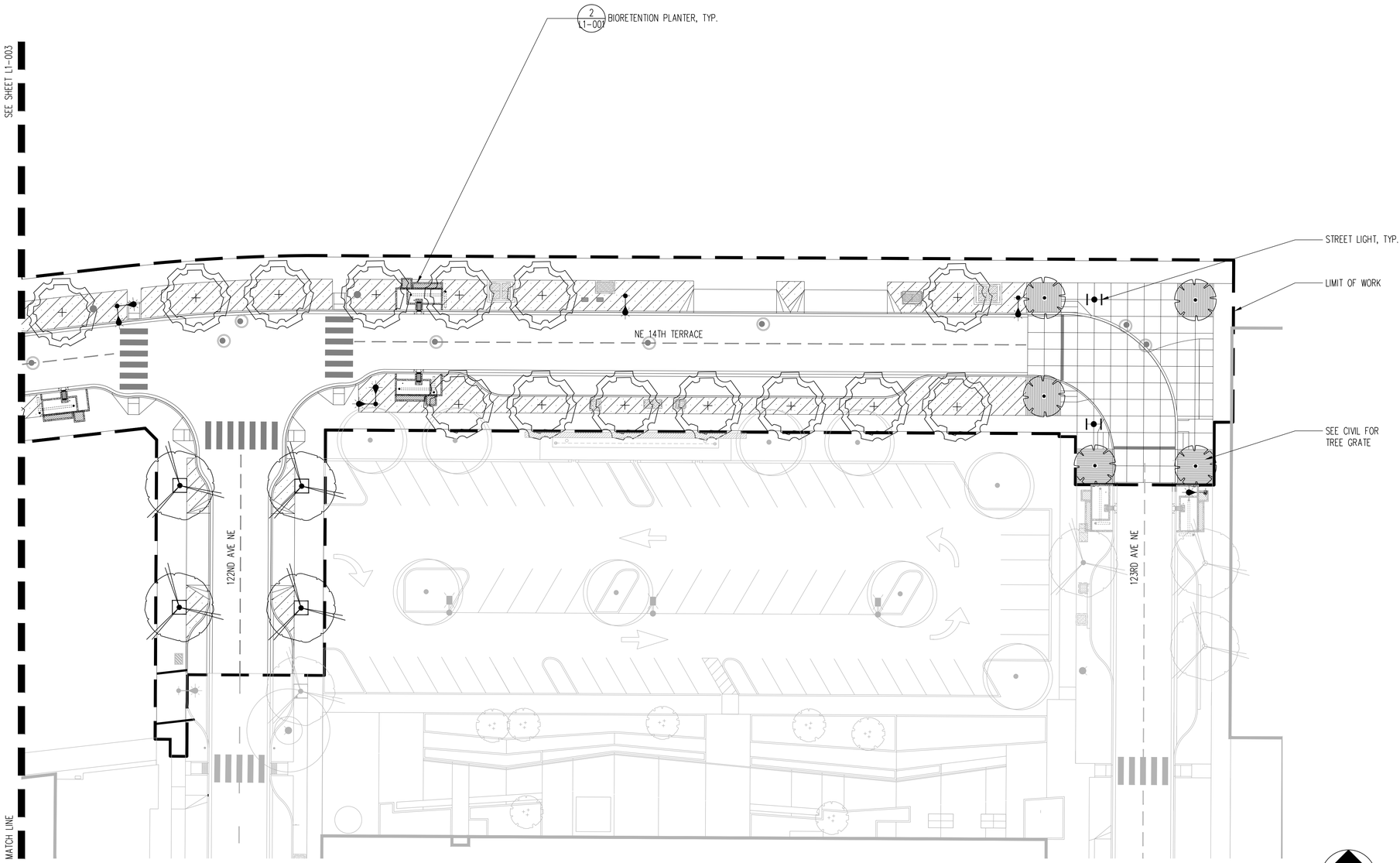
DWG.
PLANTING PLAN

DWG.
L1-002

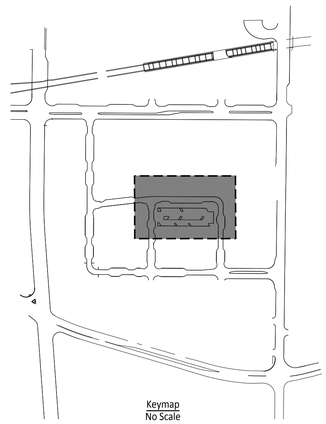
File: L1-001 SITE PLAN.dwg Path: P:\1616 Spring District Phase 2\7 CAD\Current\121st Ave & 14th Terrace TS\ Plotted by: chihird Date: 15-Mar-17 12:59:25pm

NOTE:

SEE L1-001 FOR PLANTING SCHEDULE



1 PLANTING PLAN
SCALE: 1" = 20'-0"



Keymap
No Scale

NORTH

CALL TWO BUSINESS DAYS
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UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
WRIGHT RUNSTAD &COMPANY
Wright Runstad & Company
1201 Third Avenue
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Engineer:
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JMJ Team
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Sumner, WA 98390
(206) 596-2020

Project:
THESPRINGDISTRICT

NE 14th Terrace &
121st Avenue NE

Preliminary SEPA

The Spring District
1227 124th AVE NE
Bellevue, WA 98005

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

STATE OF WASHINGTON · JENNIFER GUTHRIE · EXP 10/8/2017 · LICENSED LANDSCAPE ARCHITECT

REV	DATE	DESCRIPTION

DRAWN BY: | DESIGN BY:

PROJ. NO: 1500-001-016

DATE: March 16, 2017

DWG.
PLANTING PLAN

DWG.
L1-003

File: L1-001 SITE PLAN.dwg Path: P:\1616 Spring District Phase 2\7 CAD\Current\121st Ave & 14th Terrace TSD\ Plotted by: chlhird Date: 15-Mar-17 12:59:30pm